

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 18^{FED} HYDREF, 2018

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr
Agenda**

Eitem

3. **RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 3 - 28)
4. **RHANBARTH Y DRE - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 29 - 112)
5. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 113 - 152)

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol

*Ardal
Dwyrain/
Area East*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE HEAD OF
PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 18 HYDREF 2018
ON 18 OCTOBER 2018**

**I'W BENDERFYNU
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area East

<i>Application Number</i>	E/34791
<i>Proposal & Location</i>	THE PROPOSED BRYN BUGAIL WIND TURBINE DEVELOPMENT WILL COMPRISE OF A SINGLE WIND TURBINE, WHICH WILL HAVE AN EMBEDDED CAPACITY OF UP TO 100KW WITH THE TURBINE MEASURING 37 METERS TO HUB HEIGHT, WITH A 24 METRE ROTOR DIAMETER, CREATING AN OVERALL BLADE TIP HEIGHT OF UP TO 49 METRES. THE WIND TURBINE WOULD BE LOCATED IN A FIELD WHICH IS CURRENTLY USED FOR GRAZING AND THIS USE CAN CONTINUE WITH THE WIND TURBINE PRESENT AT LAND AT BRYNBUGAIL, CARMARTHEN, SA32 7JX

DETAILS:

PLANNING POLICY

A correction is made to the Policy Section in the report whereby reference to National Policy is provided by Planning Policy Wales Edition 7 July 2014 should have correctly read:

“National Policy is provided by Planning Policy Wales Edition 9, November 2016”.

CONSULTATIONS

The Head of Transport has advised that any permission that the Planning Authority may grant should include the following conditions:

CONDITIONS

- 1 Any access gates shall be set back a minimum distance of 12.0 metres from the highway boundary, and shall open inwards into the site only.
- 2 Prior to any use of the access by vehicular traffic, a visibility splay of 2.4 metres x 90 metres shall be formed and thereafter retained in perpetuity, either side of the centre line of the access in relation to the nearer edge of carriageway. In particular there shall at no time be any obstruction above 0.9 metres within this splay area.
- 3 The access, visibility splays and turning area required, shall be wholly provided prior to any part of the development being brought into use, and thereafter shall be retained unobstructed in perpetuity. In particular, no part of the access, visibility splays, or turning area, is to be obstructed by non-motorised vehicles.
- 4 All surface water from the development herewith approved shall be trapped and disposed of so as to ensure that it does not flow on to any part of the public highway.
- 5 No surface water from the development herewith approved shall be disposed of, or connected into, existing highway surface water drains.

- 6 The access shall be hard surfaced in a bonded material for a minimum distance of 12.0 metres behind the highway boundary, prior to any part of the development approved herewith being brought into use and thereafter maintained in perpetuity.

REASONS

- 1-6 In the interests of highway safety.

The relevant highway safety conditions will be attached to the decision notice should planning permission be granted.

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

18 Hydref 2018

***RHANBARTH Y
DWYRAIN***

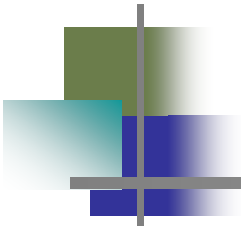
**PLANNING
COMMITTEE**

18 October 2018

**AREA
EAST**

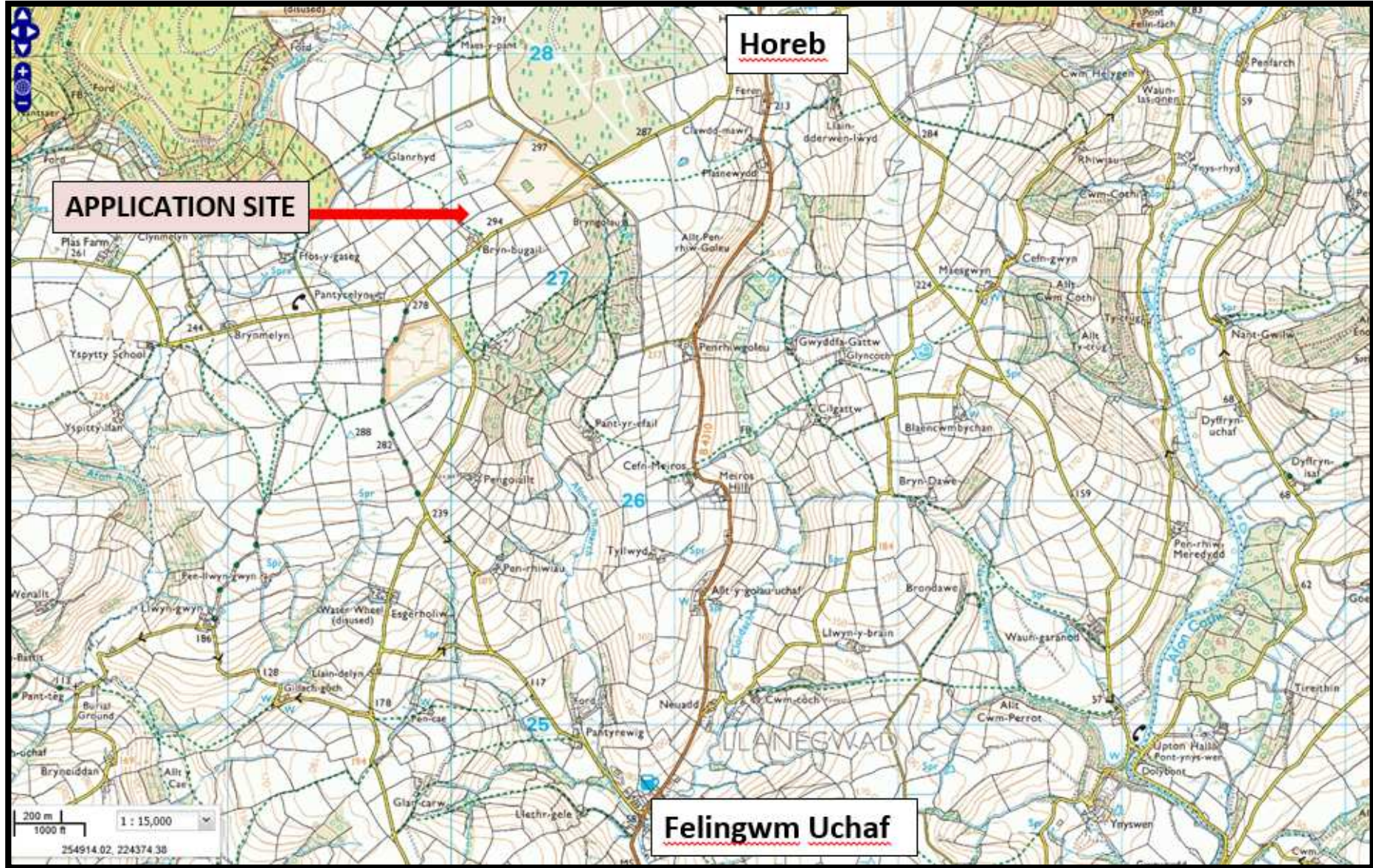
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



E/34791

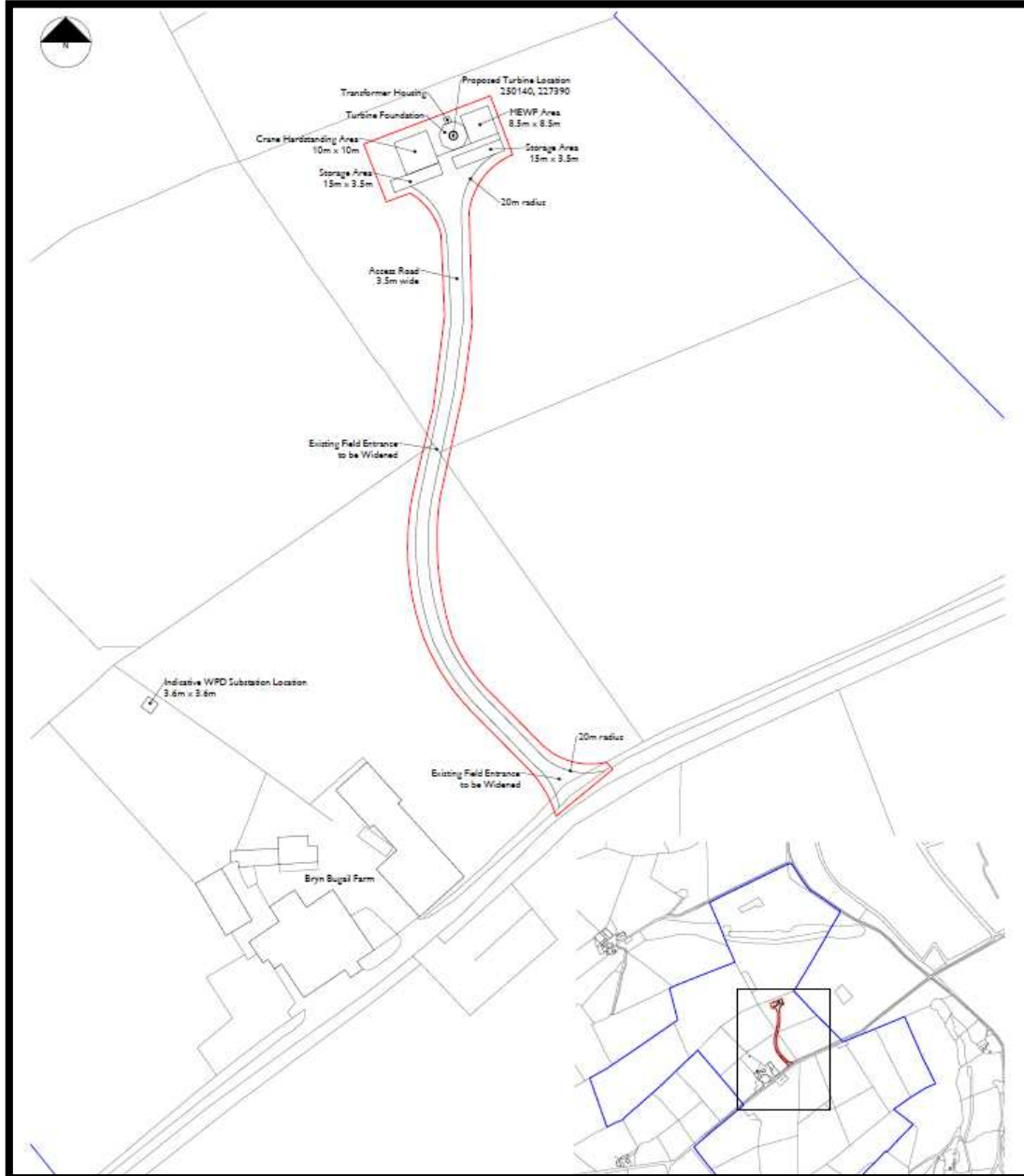
E/34791 Site Location (Ordnance Survey map)



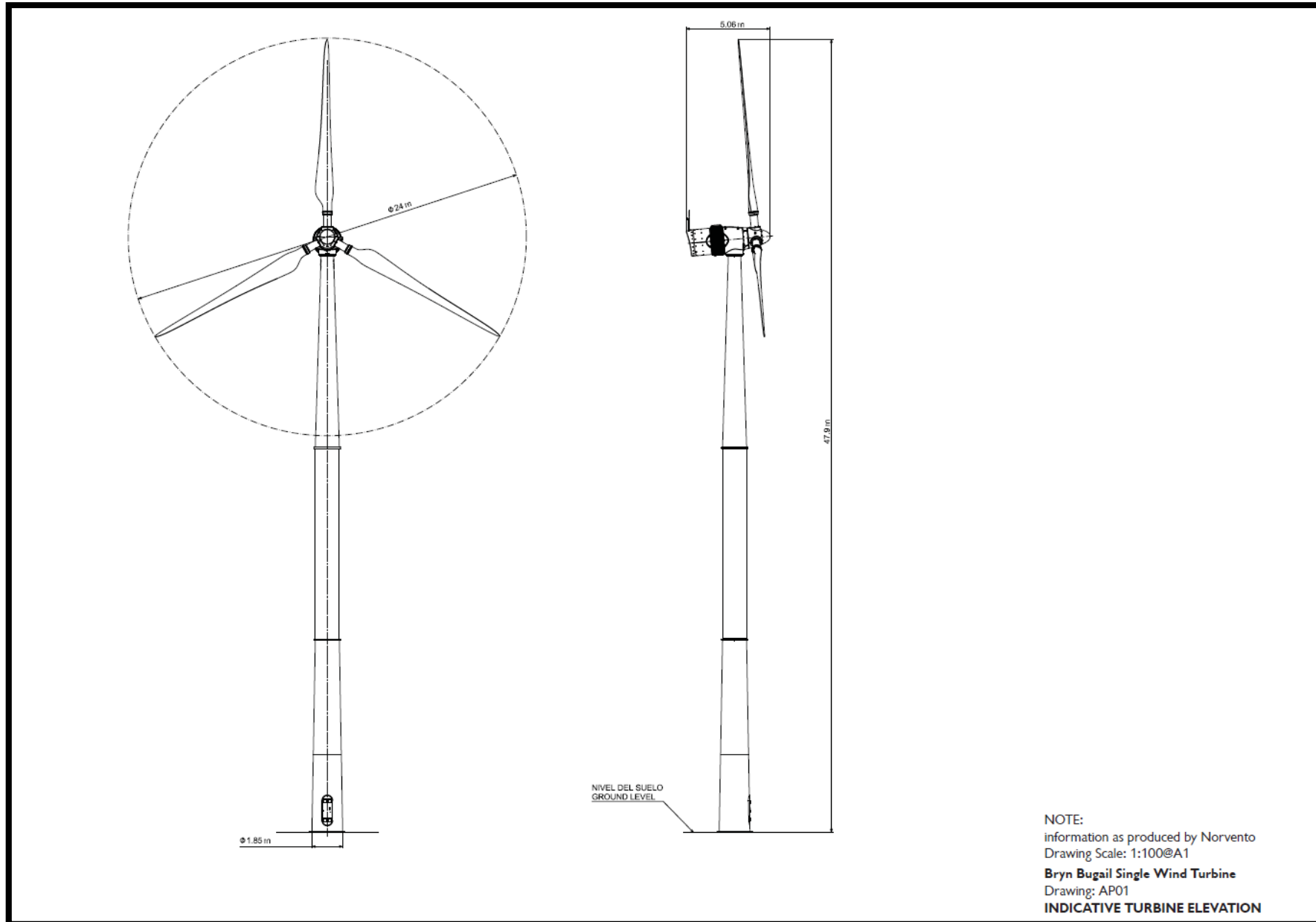
E/34791 Site Location (Aerial Photograph)



E/34791 Proposed Site Plan



E/34791 Proposed Elevations



E/34791 View from Minor Road to east of Bryn Bugail Farm (290m way)



PHOTOGRAPH



PHOTOMONTAGE

Viewpoint Information
Grid Reference: E250411 N227316
Altitude: 203m
Viewing height: 1.6m
Date of photo: 10/09/15
Time of photo: 10:55
Weather conditions: Sunny
Field of view: 120°
Viewing distance: 19.1cm
Approximate distance to proposed turbine: 290m
Camera: Canon EOS 5D Mark II
Focal length: 50mm
Paper size: 841 x 297mm



Map of the area showing the location of the viewpoint and the proposed turbine. The map is titled 'Viewpoint Location Map' and shows a red dot indicating the turbine location and a yellow dot indicating the viewpoint location. The map also shows the surrounding landscape and roads.

Based on the Ordnance Survey map with the permission of the controller of the Ordnance Survey (© Crown Copyright and the Ordnance Survey 2015)

Project:
Dingle Wind Turbine
Bryn Bugail, Carmarthenshire

View:
Viewpoint 1: View from East of Bryn Bugail Farm
Photomontage

Project No: 11
Date: 09 Oct 2015

citybrewster
CITY BREWSTER
CITY BREWSTER

Company Name: City Brewster
Address: 100 High Street, Cardiff, CF10 1AA
Phone: 01495 343434
Email: info@citybrewster.co.uk
Website: www.citybrewster.co.uk

E/34791

View from south-east of Ffos y Gaseg (595m away)

Viewpoint Information
 Grid Reference: E249807 N226908
 Altitude: 291m
 Viewing height: 1.6m
 Date of photo: 10/09/15
 Time of photo: 11:40
 Weather conditions: Sunny
 Field of view: 126°
 Viewing distance: 18.2cm
 Approximate distance to proposed turbine: 595m
 Camera: Canon EOS 5D Mark II
 Focal length: 50mm
 Paper size: 841 x 297mm

Viewpoint Location Insert
Based upon the Ordnance Survey Map with the permission of the controller of HM
 Stationery Office. Copyright Crown Copyright. Licence number 100012145.

Project: Single Wind Turbine
 Bryn Bugal, Carmarthenshire

Site: Viewpoint 2: South-west of Ffos-y-gaseg
 Photomontage

Page no:	Sheet:	Date:
23	B4	Oct 2015

soltysbrewster
CONSULTING

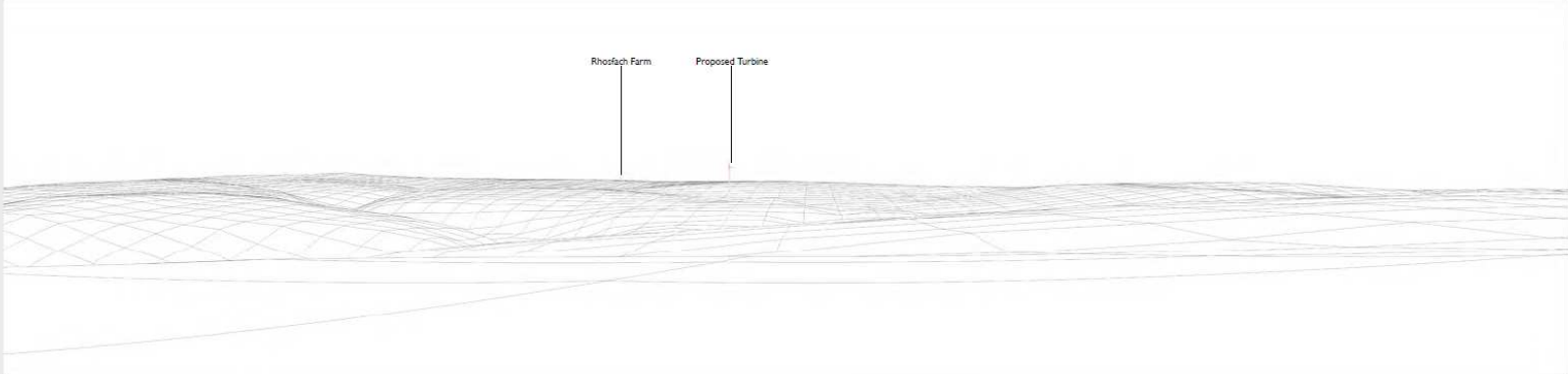
Company Name: Soltys Brewster
 Registered Office: 10, The Quadrant, Bryn Bugal, Carmarthenshire, SA31 3SD, UK
 Telephone: +44(0) 1752 8474
 Facsimile: +44(0) 1752 8483
 Email: enquiries@soltysbrewster.co.uk

E/34791

View from west of Danybank Plas Farm (2.35km away)



Conifer Plantation
Small Group of Conifer Trees in Open Access Land
Bryn Bugall Farm



Rhosfach Farm
Proposed Turbine

Viewpoint Information

Grid Reference: E247809 N227191
 Altitude: 268m
 Viewing height: 1.6m
 Date of photo: 10/09/15
 Time of photo: 12:15
 Weather conditions: Partially Cloudy
 Field of view: 105°
 Viewing distance: 21.8cm
 Approximate distance to proposed turbine: 2.35km
 Camera: Canon EOS 5D Mark II
 Focal length: 50mm
 Paper size: 841 x 297mm

Turbine Planning Status:

Proposed Bryn Bugall Turbine
 Approved



Viewpoint Location HS&T

Based upon the Ordnance Survey map with the permission of the controller of HMS, © Crown Copyright, Licence Number AA 10002925

Project
 Single Wind Turbine
 Bryn Bugall, Carmarthenshire

Site
 Viewpoint 3: West of Danybank Plas Farm
 Windline

Issue no. Issue Issue Date
 24 04 Oct 2015

soilysbrewster
 CONSULTING

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 Sullys
 Carmarthen
 SA31 3JG

Telephone: +44(0)1292 64117
 Fax: +44(0)1292 64118
 Email: enquiries@soilysbrewster.co.uk

E/34791 View from Footpath to the north of Bryn Bugail Farm (180m away)



E/34791 View from Footpath within Cothi Valley SLA (4.4km away)



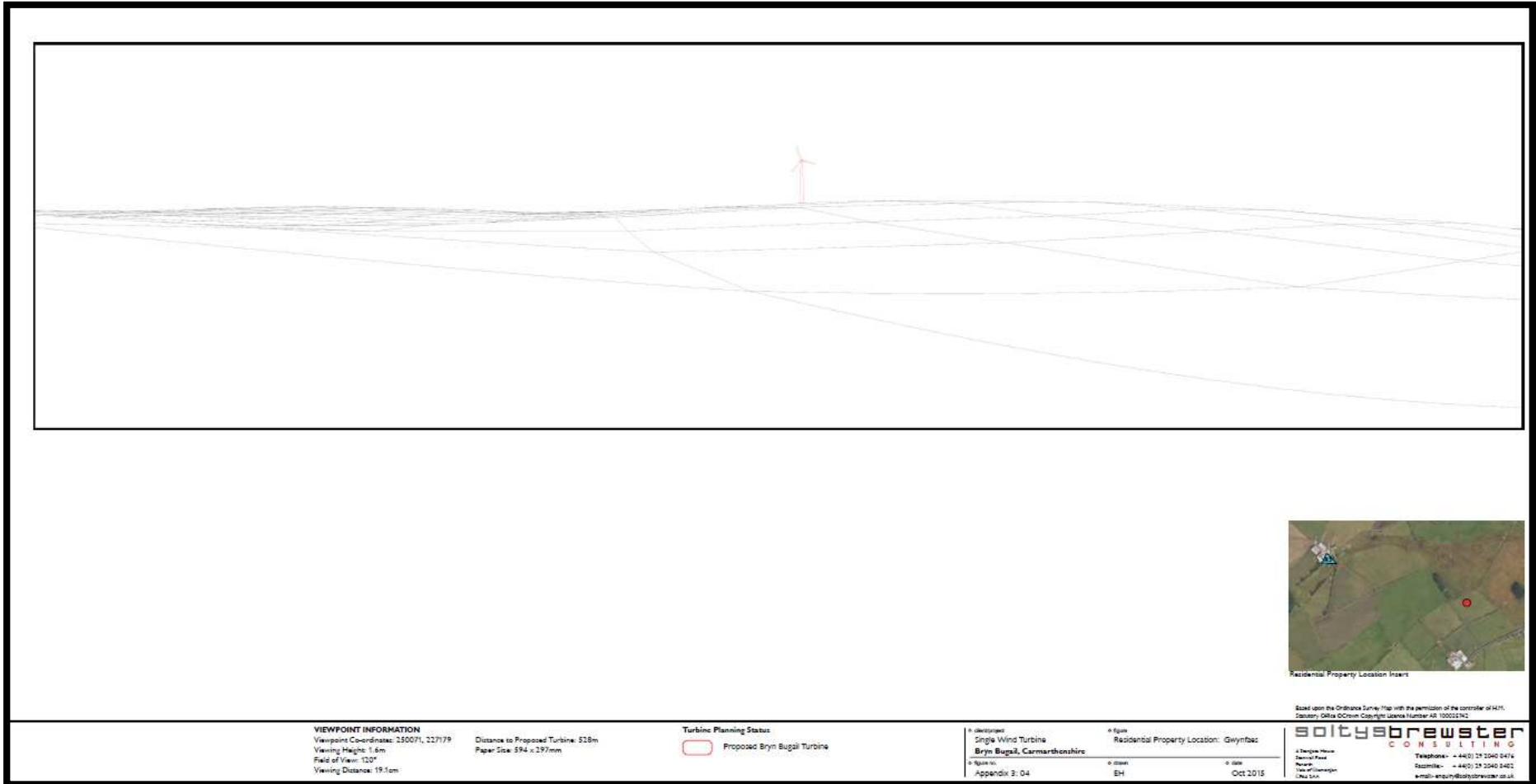
E/34791 Proximity of Wind turbine to nearest residential properties (Glanrhyd & Gwynfaes)



E/34791 Proximity of Wind turbine to nearest Public Right of Way (PROW 41/55)



View of Wind Turbine from Glanrhyd & Gwynfaes



E/34791 View from C1256 Cross-Roads



E/34791 View from U5576 (north-east)



E/34791 View from Glanrhyd Farm entrance (North-east)



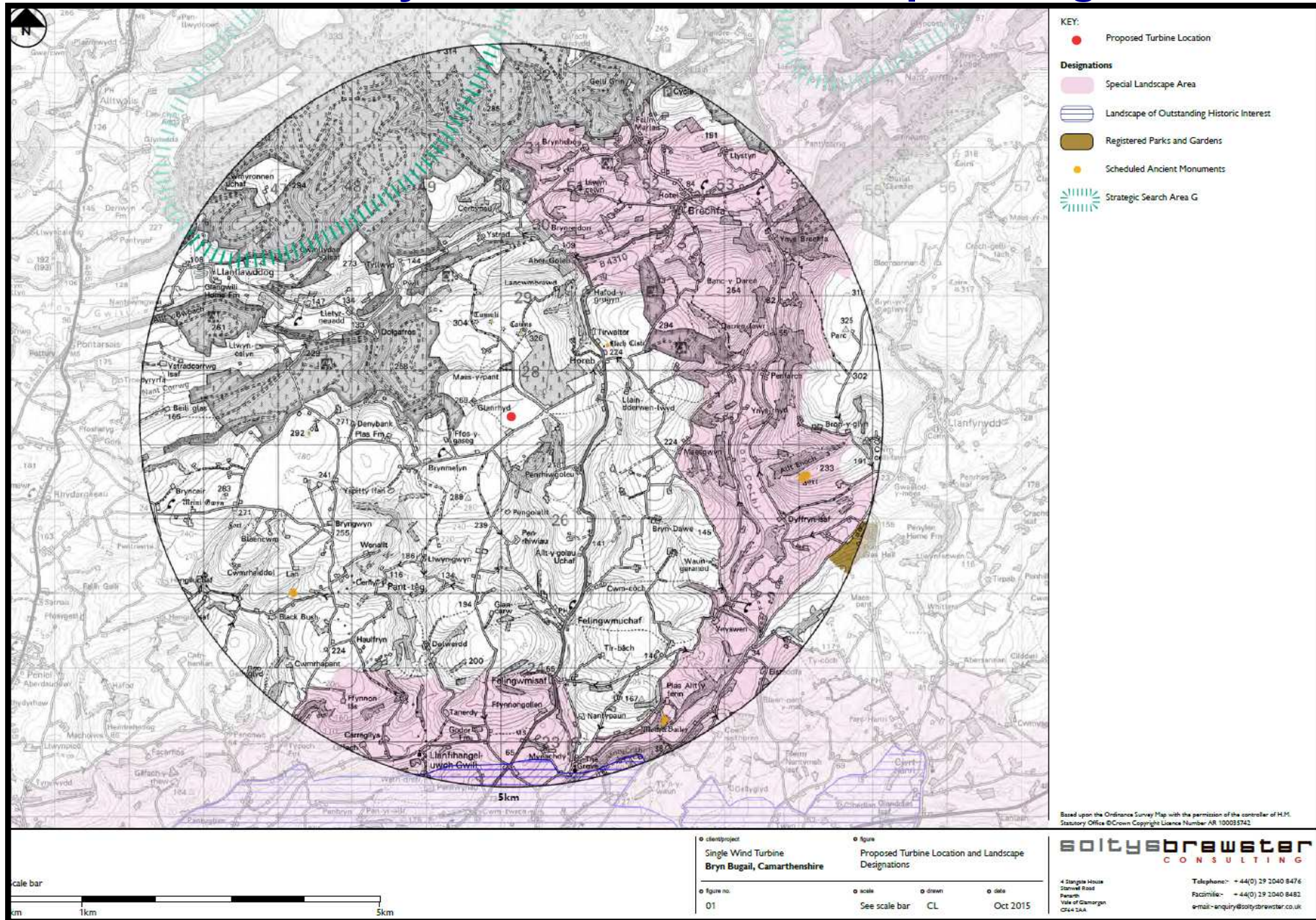
E/34791 View from site entrance (off C1256)



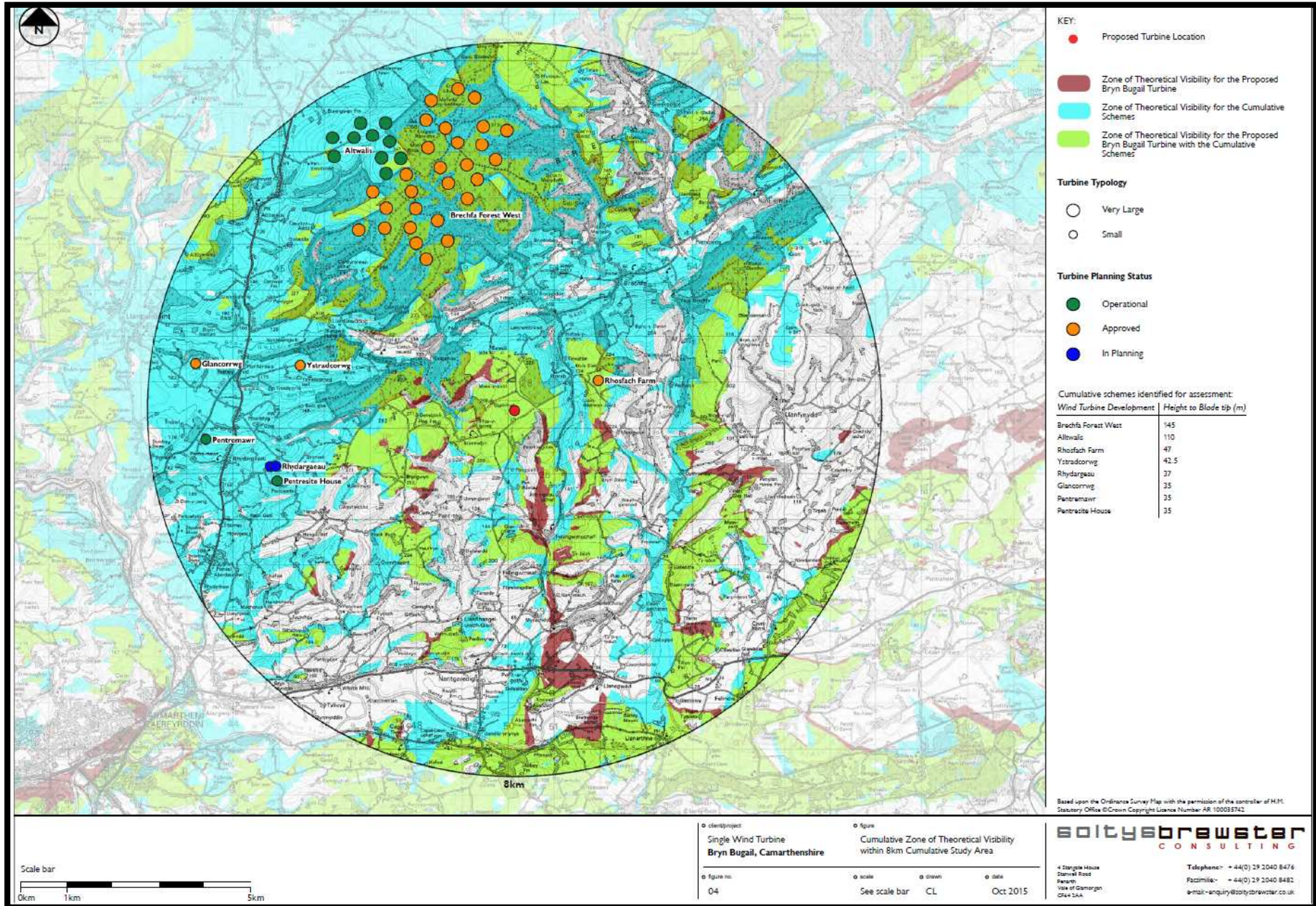
E/34791 View from Pantycelyn (south-west)



E/34791 Proximity of turbine to Landscape Designations



E/34791 Proximity of turbine to other wind turbines



*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
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**AR 18 HYDREF 2018
ON 18 OCTOBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/37325
<i>Proposal & Location</i>	REPLACEMENT OF EXISTING STEPS TO WEST DOOR WITH NEW STEPS AND RAMP TO ALLOW WHEELCHAIR ACCESS TO CHURCH AT ST ELLIS CHURCH, BRIDGE STREET, LLANELLI, SA15 3UF

DETAILS:

CONSULTATIONS

Neighbours/Public – A further five letters of representation have been received from the original objectors raising the following issues:-

- Lack of stakeholder involvement and consultation with the congregation.
- No consultation with The Society for the Protection of Ancient Buildings and the Victorian Society even though they were consulted on the faculty decision making process.
- Health and safety – lack of lighting and tactile surfaces.
- Non-compliance with Building Regulations.
- Impact on buried archaeology.
- No artist impression.
- Lack of detailed assessment on alternative options.
- In order to make the Vestry area accessible to all, and internal ramp of some form will still be needed. The Vestry access should be reconsidered.
- Inadequate consideration as part of the faculty decision making process.
- The proposal is insensitive and will have a damaging impact on this Grade II* listed Church.
- The works are not genuinely reversible.
- The Conservation Officer states that whilst the proposal will have a significant harmful impact on the character and setting of the tower, the proposals can be considered to be a conservation gain. This is contradictory.
- Non-compliance with planning policy and best practice guidance from Cadw.
- The internal toilet proposals are not included within this planning application.

- The tomb to the west of the tower will not need to be relocated to achieve a ramp that complies with Building Regulations.

The majority of these points were previously raised and are addressed in detail in the main body of the Planning Committee report.

In relation to the lack of consultation with The Society for the Protection of Ancient Buildings and the Victorian Society, these amenity societies are not statutory consultees on planning applications. It is understood that they were consulted on the faculty decision making process.

The works to create toilets inside the Church are internal works that do not require planning permission.

In terms of the tomb to the west of the tower, the applicant has stated in their submission that it is likely that any further increase in the width of ramp with steps beyond is likely to result in the need to relocate the tomb. Notwithstanding whether this is in fact the case, Building Regulation requirements is separate legislation that does not affect any decision made on this planning application. The Local Planning Authority is satisfied that all other alternative options for improved access have been considered, and the main body of the Planning Committee report justifies why the current proposal on balance is considered to be acceptable.

Applicant – The applicant has sent in a letter stating the following:-

- There is an urgent need to provide improved access to the Church for an ageing congregation, and to help arrest the decline in attendance.
- During the last 12 years every possible other option has been considered.
- The proposal is considered to be the best option which re-uses and restores the existing steps and is reversible.
- The proposals have been considered and supported by The Diocese of St. David's, The Victorian Society, Cadw and The Society for the Protection of Historic Buildings.
- The Church will take full consideration of the recommendations of the Council's Built Heritage Officer.
- Vehicle access to the site is restricted and will cease completely in the future.
- Lighting and CCTV has been considered but discussions have been put on hold pending the finalisation of this application.
- There have been examples of recent difficulties with disabled access.

Removal of Condition

The Authority's Built Heritage Officer has confirmed that Condition 8 was incorrectly recommended and should therefore be removed. The condition reads as follows:-

- 8 The stone walls shall have a traditional painted finish.

ADDENDUM – Area South

<i>Application Number</i>	S/37793
<i>Proposal & Location</i>	AN EXTENSION TO AN AUTHORISED GYPSY CARAVAN SITE TO ACCOMMODATE TWO ADDITIONAL STATIC RESIDENTIAL GYPSY CARAVANS TOGETHER WITH THE ERECTION OF TWO DAY/UTILITY ROOMS, TWO TOURING CARAVANS, INSTALLATION OF SEPTIC TANK AND THE RETENTION OF WORKS TO CREATE A HARDSTANDING AND NEW ACCESS AT LAND AT TY NEWYDD, LLWYN TEG, LLANNON, LLANELLI, SA14 8JN

DETAILS:

CONSULTATIONS

Head of Transport – Had initial concerns over the access visibility, however has no observations on the revised scheme which utilises the existing access.

For clarity, the application has been amended and now proposes to use the existing access which has sufficient visibility. The new access is now shown as a reinstated hedgerow. An appropriate condition is recommended to ensure that the hedge is reinstated prior to the beneficial use of the site for stationing caravans.

Neighbours/Public – The application has been advertised by site notice. 3No. objections have been received to date raising the following matters:-

- Lack of justification;
- Highway safety;
- Access and tipping already evident;
- Businesses already operate from site;
- Proposal will dominate settlement;
- Loss of amenity.

The justification for the proposal is as set out in the main report.

In terms of highway safety, the Head of Transport had initial concerns about the scheme as the visibility was short compared with the speed limit. The applicant has amended the scheme so that the access is now proposed via the original access on the existing site. As a result, the Head of Transport has no observations based on the revised scheme.

The access and hard standing has been formed. This application seeks to regularise the operations and has been amended to omit the access point. A condition is recommended below to reinstate the hedgerow.

The site is proposed for residential not business purposes. Any business proposals would be considered on their merits.

The location of the site is relatively isolated and the scale is a small family unit, so it is not likely that the proposal would dominate the area and cause loss of amenity to third parties.

CONDITIONS

Condition No. 2 shall be amended to read as follows:-

- 2 The development hereby permitted is shall be carried out strictly in accordance with the following schedule of plans:-
- 1:2500 scale Location Plan. Drawing No. 01a dated 6 September 2018;
 - 1:100 scale Context Section. Drawing No. 04 dated 6 September 2018;
 - 1:50 & 1:100 scale Floor Plans and Elevations of Day Room. Drawing No. 05 dated 6 September 2018;
 - 1:200 scale Septic Tank Details. Drawing No. 06 dated 6 September 2018;
 - 1:500 & 1:2500 scale Block and Location Plan. Drawing No. 02b dated 17 October 2018;
 - 1:200 scale Site Plan. Drawing No. 03b dated 17 October 2018.

The following additional condition is recommended:-

- 12 Prior to beneficial use of the site for the stationing of caravans and construction of ancillary development, the hedge along the road frontage shall be reinstated with native hedgerow species. The species mix shall be submitted to the local planning authority prior to the stationing of caravans, for written approval and shall thereafter be retained in perpetuity.

Reason

- 12 In the interests of highway safety.

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

18 HYDREF 2018

RHANBARTH Y DE

**PLANNING
COMMITTEE**

18 OCTOBER 2018

AREA SOUTH

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/37325

Tudalen 38

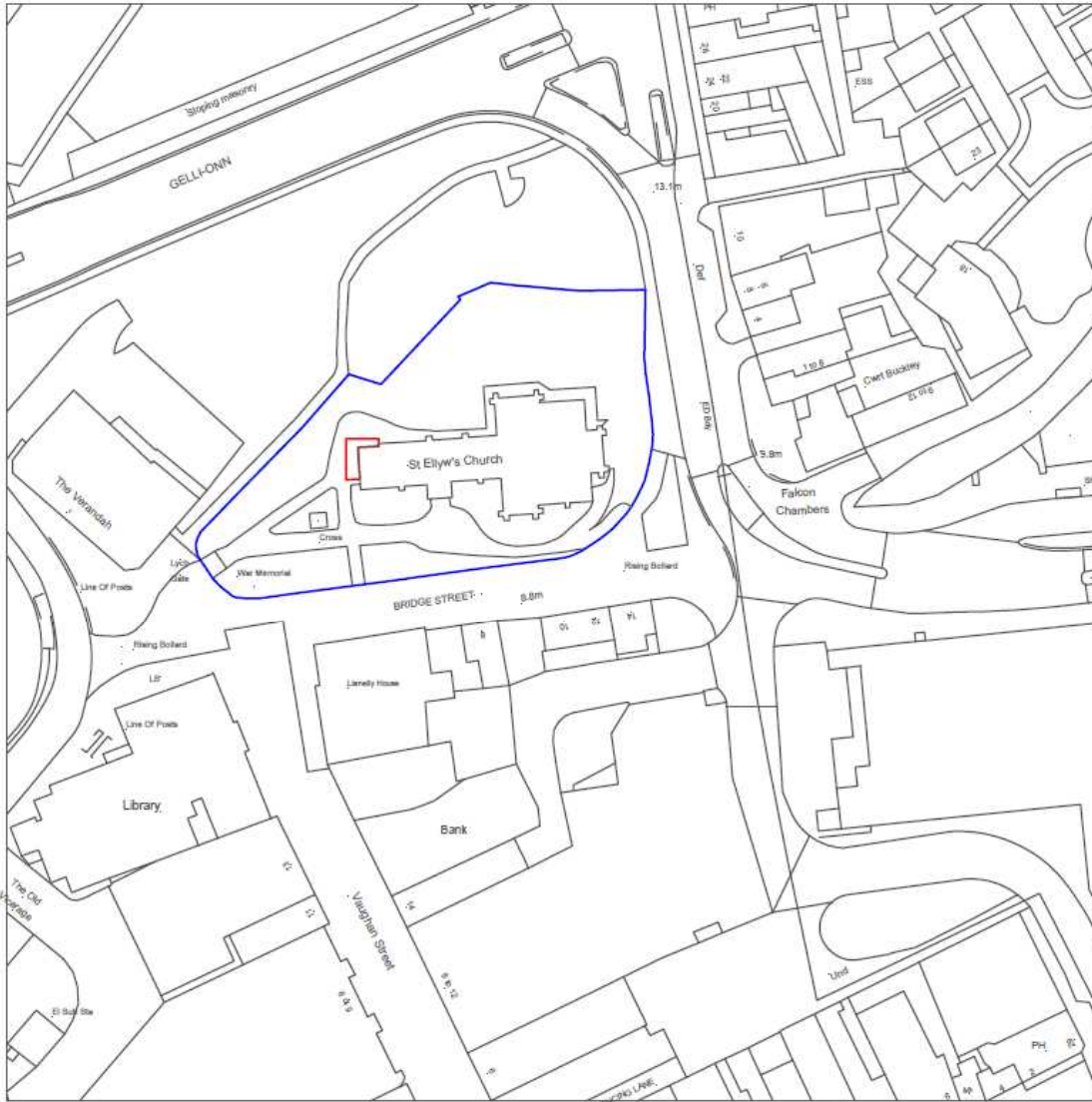
S/37325



S/37325



S/37325



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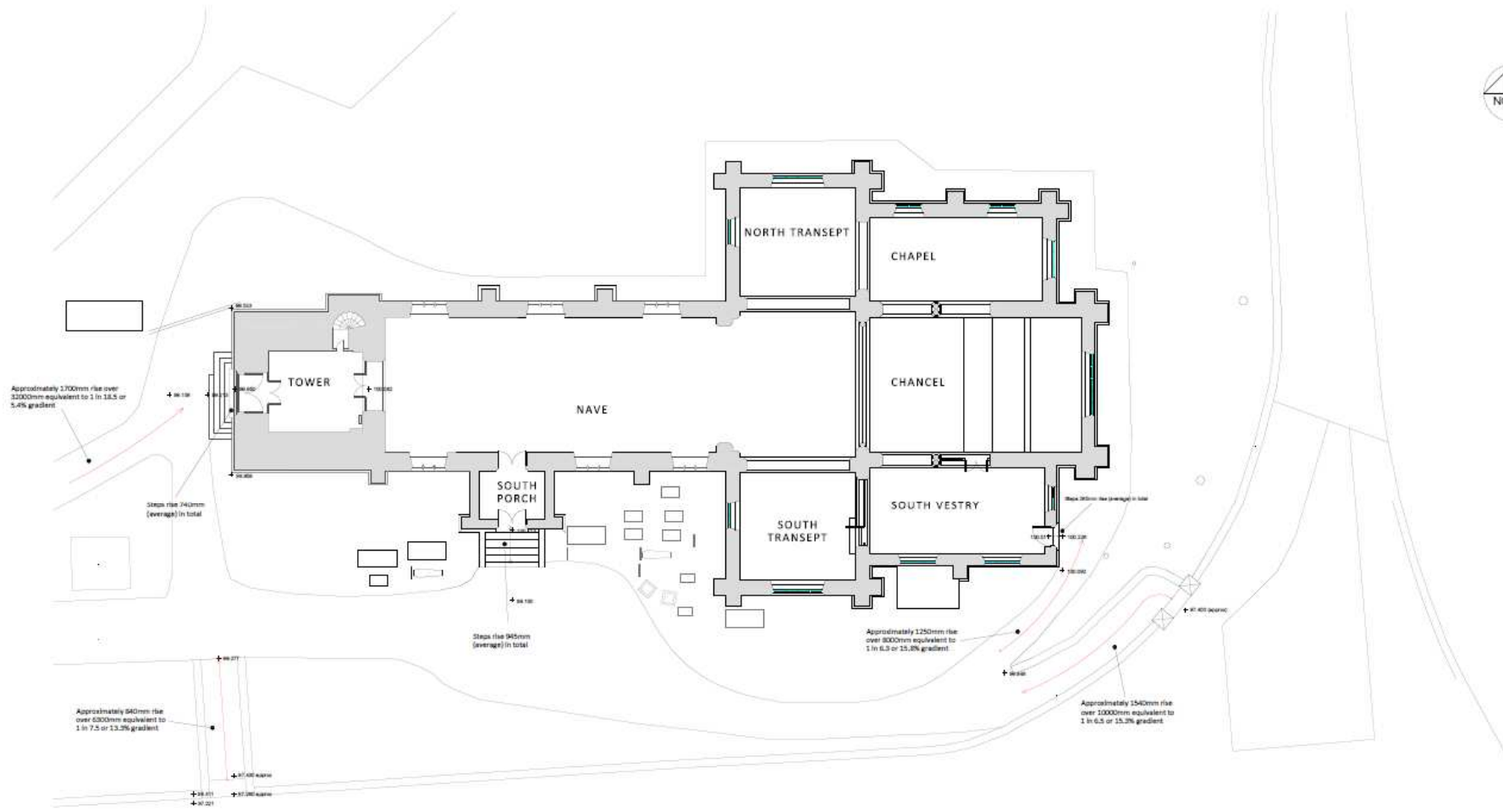
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Client: PCC
Drawing: Location Plan
Scale: 1:1250 @ A4
Date: May 2018

LOCATION PLAN

ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE

2722 37

S/37325



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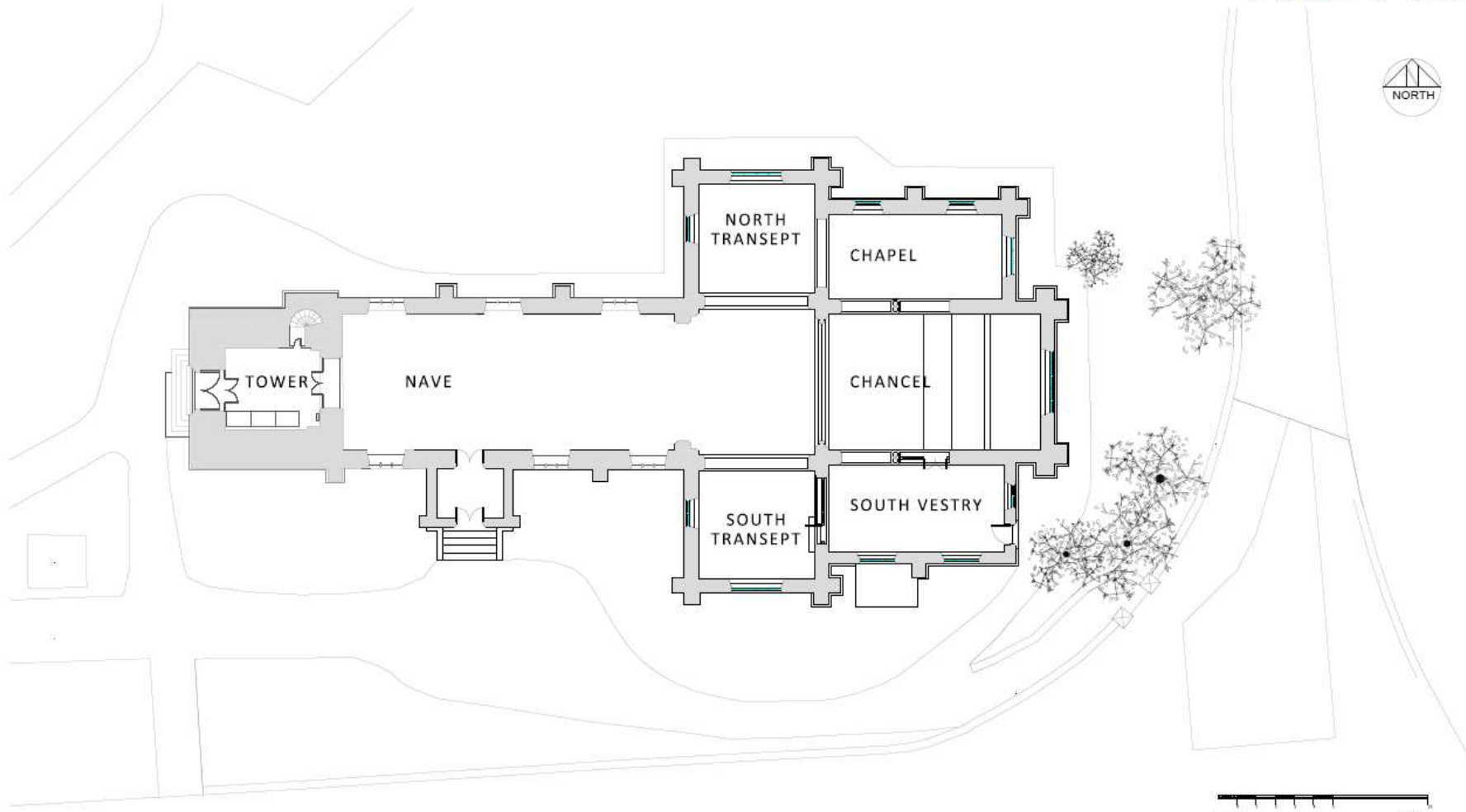
Job: St Elli's Church, Llanelli
Client: Vicar and PCC
Drawing: External Access Arrangements :
As Existing
Scale: 1:100 @ A1
Date: July 2018

2722 41

EXTERNAL ACCESS ARRANGEMENTS : AS EXISTING
ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE

S/37325

REVISIONS
A Planning Issue MJ 21 May 2018



GROUND FLOOR PLAN : AS EXISTING

ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE

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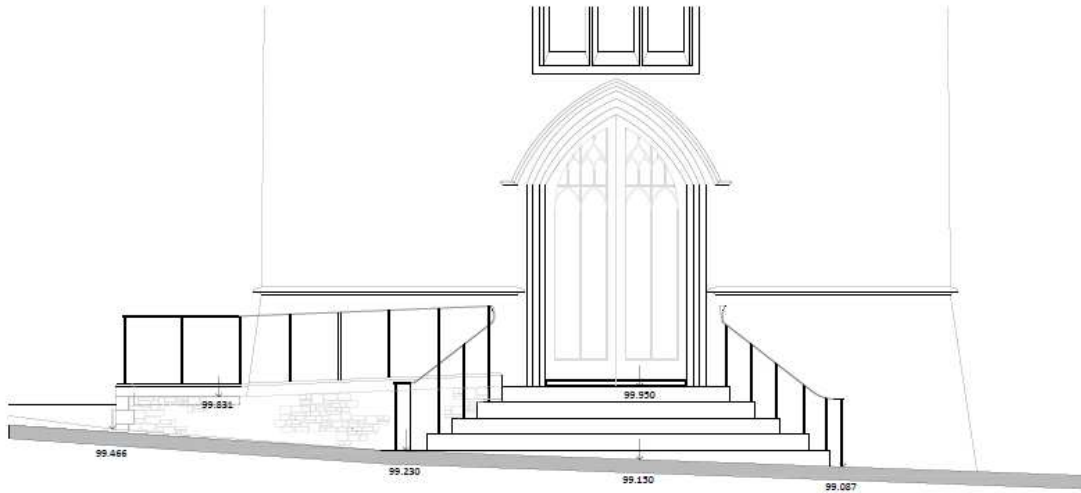
1 Bath Mees
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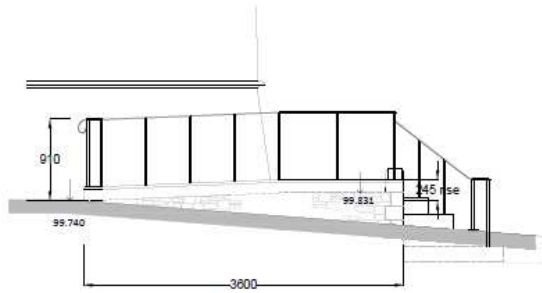
Job: St Elli's Church, Llanelli, St David's Diocese
Client: PCC
Drawing: Ground Floor Plan- As Existing
Scale: 1 :100 @ A1
Date: May 2018

2722 13 A

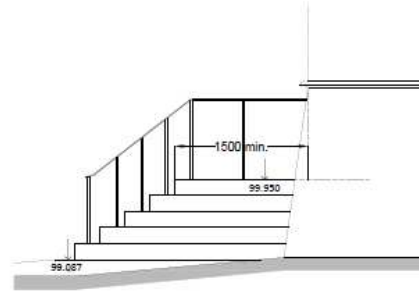
S/37325



West Elevation



North Elevation



South Elevation

TOWER WEST ELEVATION STEP REMOVAL AND EXCAVATIONS

Locate and protect all services to proposed area of steps and ramp prior to works commencing. Protect existing structure to prevent damage.

Carefully remove existing wrought iron handrails to existing steps and set aside in secure location for possible reinstatement at completion of the proposed work.

Record position of all stonework forming west stepped access to assist in re-construction.

Carefully lift and set aside all stonework associated with the steps and landing area; remove and dispose of off-site all core fill to existing step formation.

To proposed area of steps and ramp, carefully cut back existing tarmac surface; allow for protecting all exposed edges to prevent damage; dispose of excavated surface material off site. Average area 27.0m².

Carefully excavate to reduce level average 350mm below existing tarmac wearing surface for entire area of proposed steps and ramp. Average area 22.0m².

To proposed manhole position, carefully excavate to (750mm) below existing adjacent ground level; or required invert. Average size of excavation 900 x 1200.

Level and compact reduced level excavation in preparation for construction work.

LEVELS AND RAMP CONSTRUCTION

Provide and lay 150mm thick clean hardcore sub-base; compact until no surface movement is evident when compacting.

Provide and install on minimum 35 mm high spacers type A242 reinforcement mesh to concrete slab; allow for stainless steel wiring between individual sections.

Carefully place average 150 mm thick concrete sub base to form level foundation for dressed stone kerb and relocated steps. Allow for thickening at edges to 250mm deep for 360 width.

Construct 150mm thick coursed and squared rubble sandstone walling (to match existing stonework of church and to be approved by Contract Administrator) to external elevations of ramp as facing to 400mm blockwork sub walls; build in wall ties to blockwork sub walls at 450mm centres vertically and 750mm horizontally in staggered formation; install separating membrane to all vertical surfaces and infill core with 150mm layers of compacted hardcore upto 200mm below upper edge of kerb stones. Provide and lay dressed sandstone kerb to exposed edge of ramp; average stone size 200 mm wide x 150mm deep x 450mm long with chamfered external mitres dressed to match proposed ramp profile; lay 50mm concrete blinding to hardcore surface finished to 1:12 gradient to match profile of stone kerb. Allow for weep holes to perp joints at 900mm centres.

Once concrete blinding is cured and initial set achieved provide and lay 65mm thick Forest of Dean blue/grey Penryn sandstone slabs in varying lengths and equal widths with bush hammered wearing surface. Sample of bush hammered finish to be approved by Contract Administrator prior to ordering. Allow for bedding on cement/sand. Maintain separating membranes on all vertical surfaces.

Allow for drilling 27 no. hole positions in stone kerb and steps to accept 30 x 20 square solid wrought iron handrail supports. Provide and securely fix in kerb 20 no. 20 x 20 wrought iron uprights (average length 900mm) complete with 65 x 20 wrought iron 'D' section handrail to match existing on site. Allow for 4 coat paint finish to all metalwork; prime prior to fixing (colour to be agreed). Ramp, steps and handrails to fully comply (as far as is practicable) with Approved Document K of the current Building Regulations.

To relocated steps, provide and install on minimum 35 mm high spacers type A242 reinforcement mesh to concrete slab; allow for stainless steel wiring between individual sections; carefully place average 150 mm thick concrete sub base to form level foundation for stone risers and treads. Allow for thickening at edges to 250mm deep for 350 width. Install separating membrane to all vertical surfaces and as step construction progresses infill core with 150mm layers of compacted hardcore upto 180mm below finished floor level (99.950 level above TBM). Lay 35mm thick concrete blinding and lay 65 thick existing retained slabs as wearing surface. Carefully cut slabs to fit in and around manhole cover and frame (as item 3.08.12).

To manhole located within steps ensure no debris enters the drainage as work progresses; protect brickwork from damage from hardcore compaction.

Reinststate tarmac wearing surfaces where cut back.



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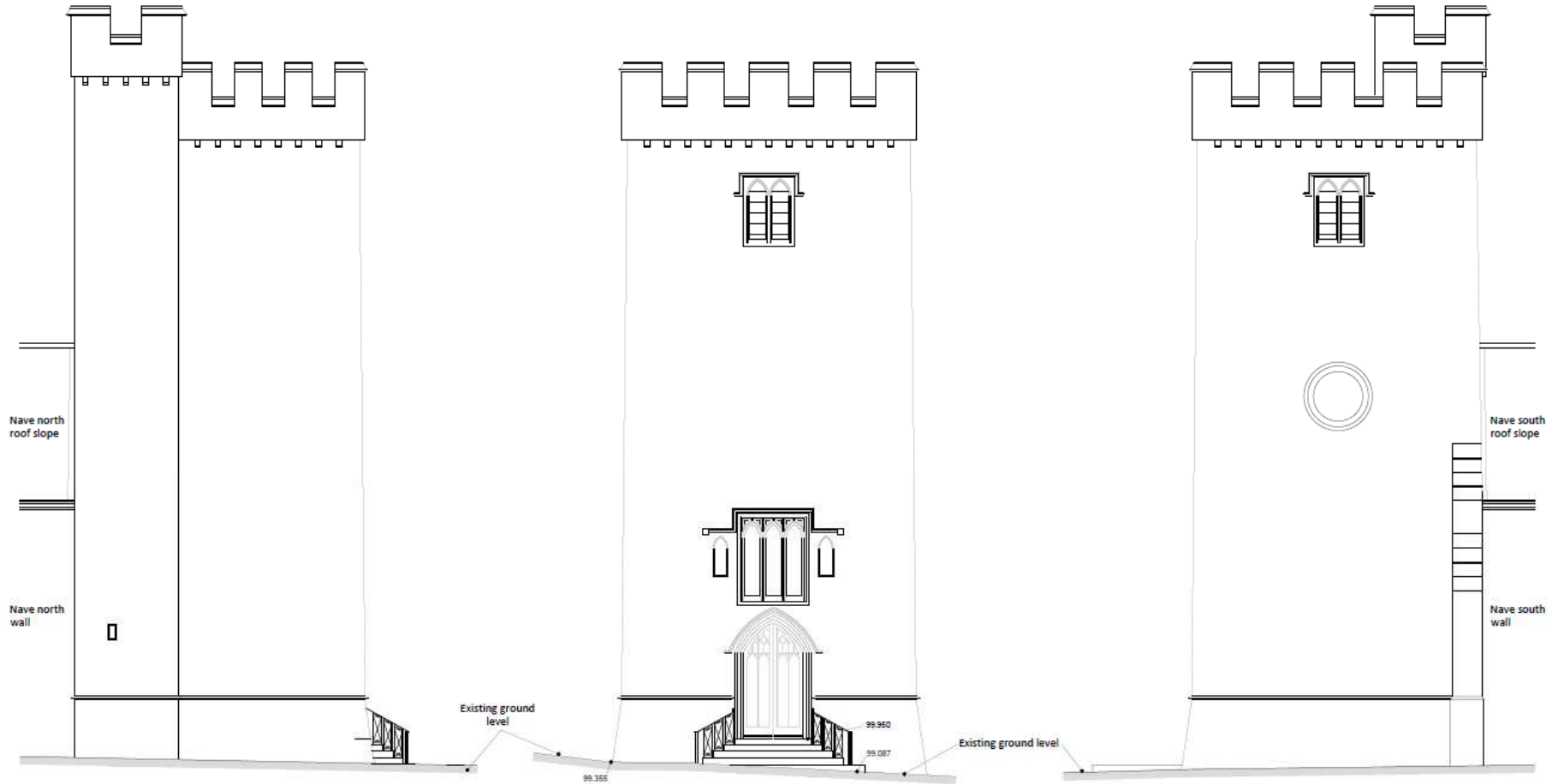
T: 01242 522061
E: office@arnoldbartosch.co.uk

Job: St Elli's Church, Llanelli, St David's Diocese
Client: PCC
Drawing: Ramped and Stepped Access to Tower West Door : As Proposed
Scale: 1:25 @ A1
Date: May 2018

2722 43

S/37325

REVISIONS
B Planning Issue HFA 21 May 2018



North Elevation

West Elevation

South Elevation

TOWER ELEVATIONS : AS EXISTING

ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE



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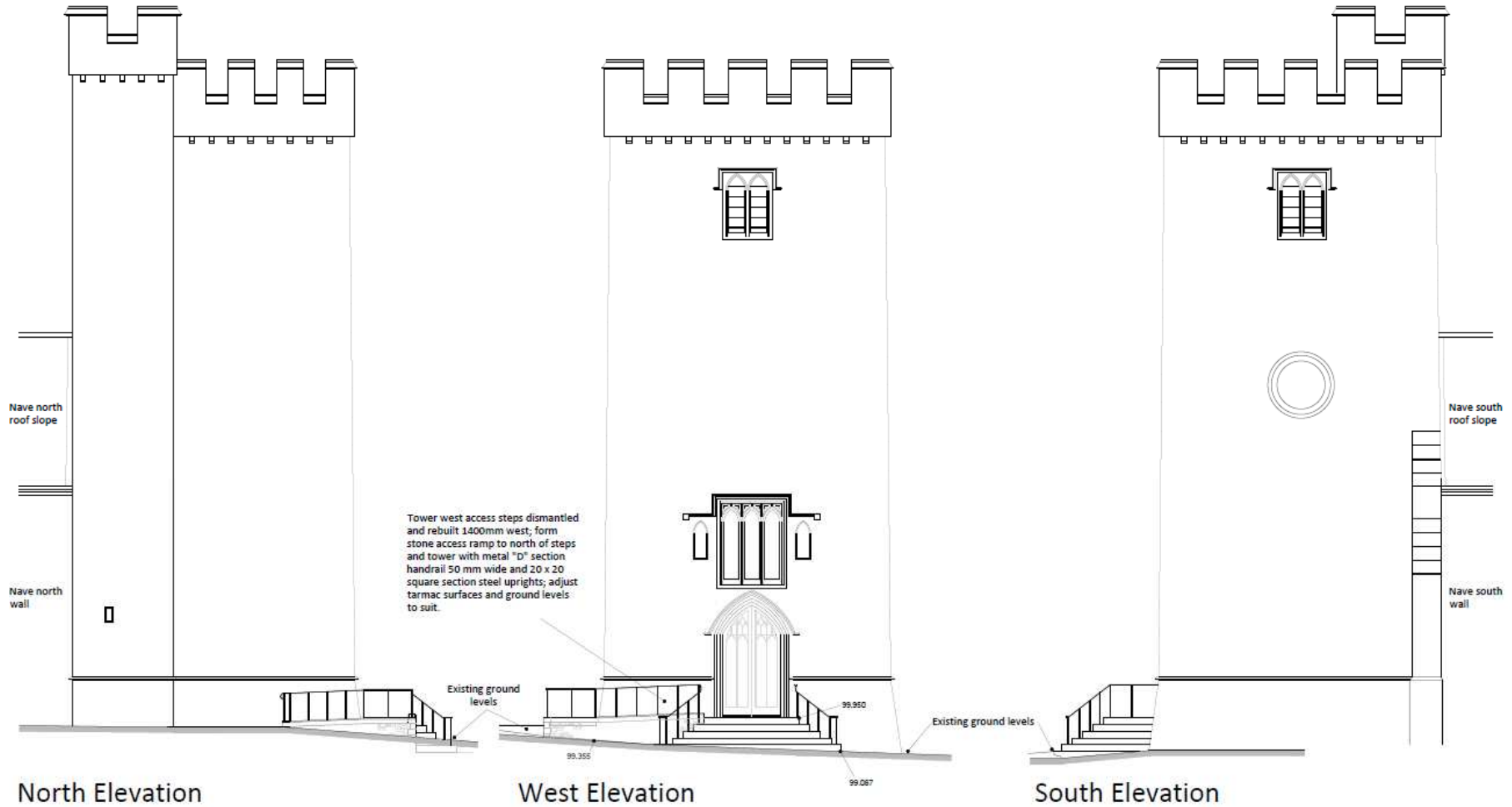
T: 01242 522061
E: office@arnoldbartosch.co.uk

Job: St Elli's Church, Llanelli, St David's Diocese
Client: PCC
Drawing: Tower Elevations- As Existing
Scale: 1:100 @ A1
Date: May 2018

2722 19 B

S/37325

REVISIONS
C Planning Issue MU 21 May 2018



North Elevation

West Elevation

South Elevation

ELEVATIONS : AS PROPOSED

ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE

Tudalen 45



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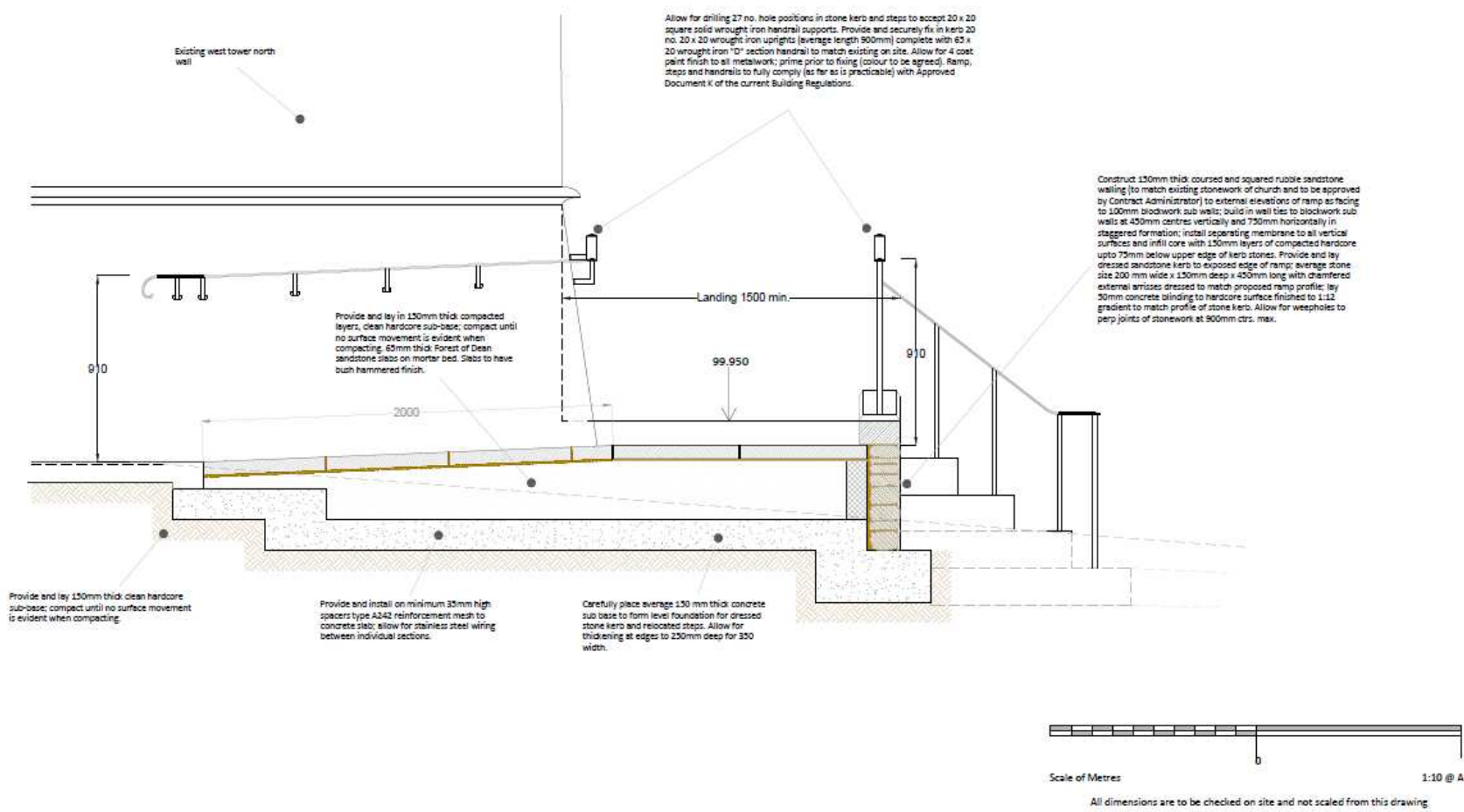


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Job: St Elli's Church, Llanelli, St David's Diocese
Client: PCC
Drawing: Elevations- As Proposed
Scale: 1:100 @ A1
Date: May 2018

2722 23 C

S/37325



RAMPED AND STEPPED ACCESS TO TOWER WEST DOOR : PROPOSED DETAILS ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE

ARNOLD BARTOSCH LTD
Chartered Surveyors
Historic Building Consultants



1 Bath Mews
Bath Parade
Chalfont
Gloucestershire
GL53 7HS
T: 01242 522061
E: office@arnoldbartosch.co.uk

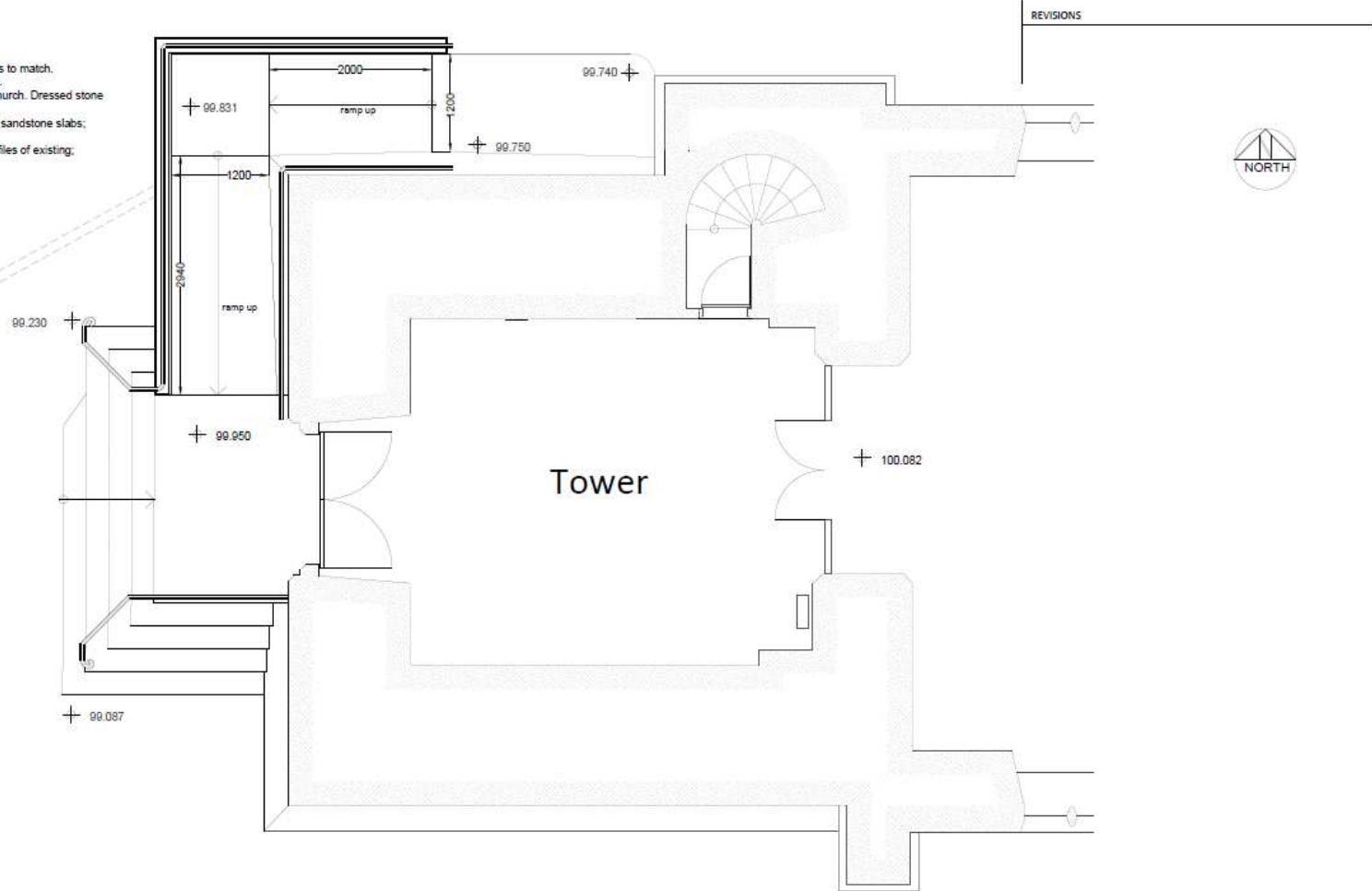
Job: At Elli's Church, Llanelli
Client: PCC
Drawing: Ramped and Stepped Access:
Proposed Details
Scale: 1:10 @ A1
Date: July 2018

2722 44

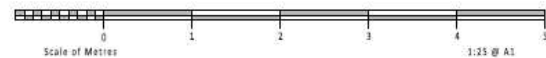
S/37325

MATERIALS

Existing sandstone steps re-used. Additional steps to match.
 Manifestation to edgings of steps used for access.
 Ramp retaining wall sandstone rubble to match church. Dressed stone raised kerb.
 Paving to landings and ramp Forest of Dean grey sandstone slabs; ramp slabs bush-hammer finish.
 Wrought iron handrails and uprights to match profiles of existing; painted black.



REVISIONS



ARNOLD BARTOSCH LTD
 Chartered Surveyors
 Historic Building Consultants



1 Bath Mans
 Bath Parade
 Chalfont St Giles
 Gloucestershire
 GL53 7HL

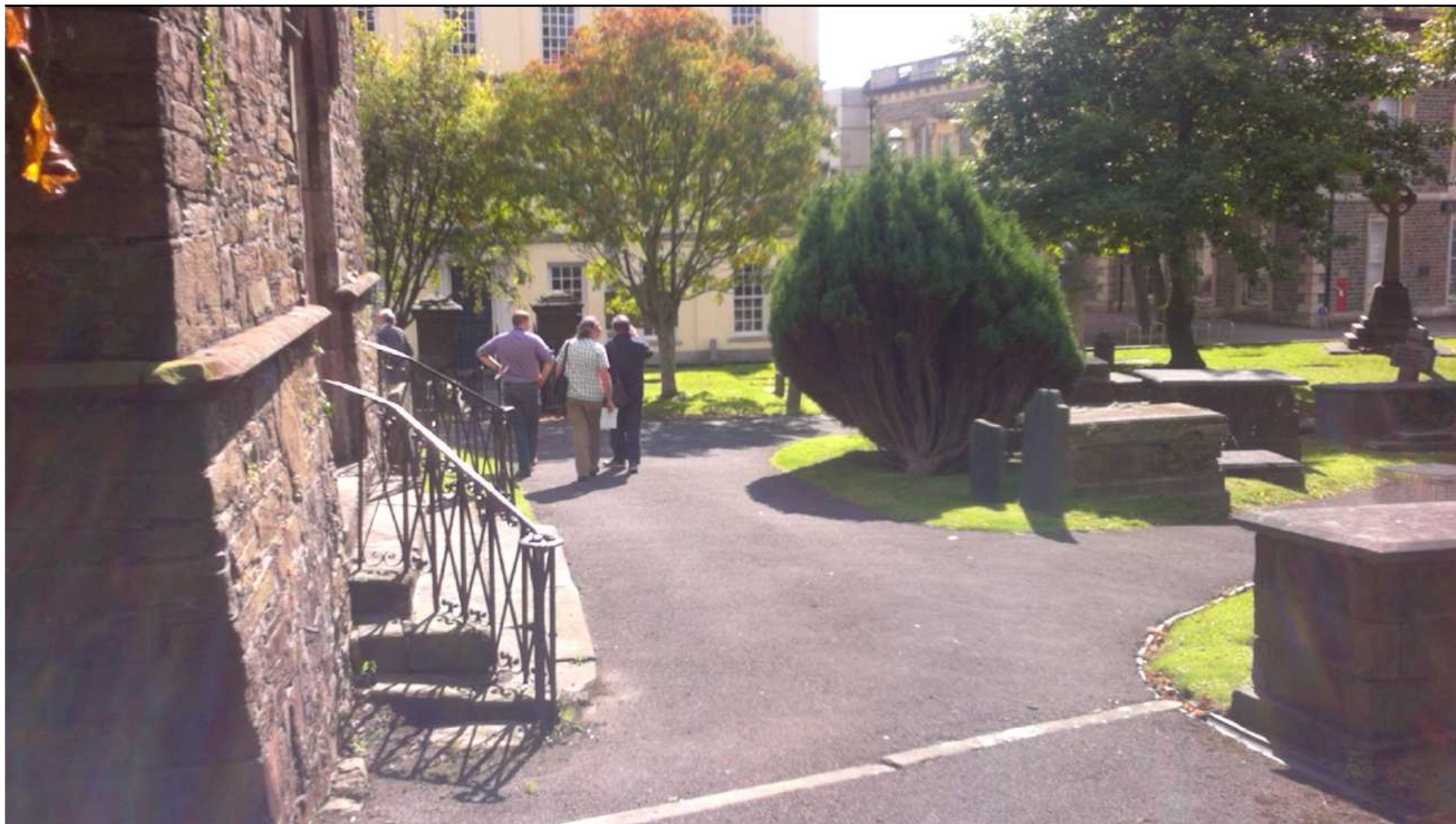
T: 01242 522061
 E: office@arnoldbartosch.co.uk

PROPOSED RAMP & STEPS
ST ELLI'S CHURCH, LLANELLI, ST DAVID'S DIOCESE
 (formerly drawing no. 2722/ 38 dated May 2018)

Job: St Elli's Church, Llanelli, St David's Diocese
 Client: PCC
 Drawing: Proposed Ramp & Steps
 Scale: 1:25 @ A1
 Date: May 2018

2722 40

S/37325



S/37325



S/37325



S/37325



Tudalen 51

Tudalen 52

S/37325



S/37325



Tudalen 53

Tudalen 54

S/37325



S/37325



S/37325



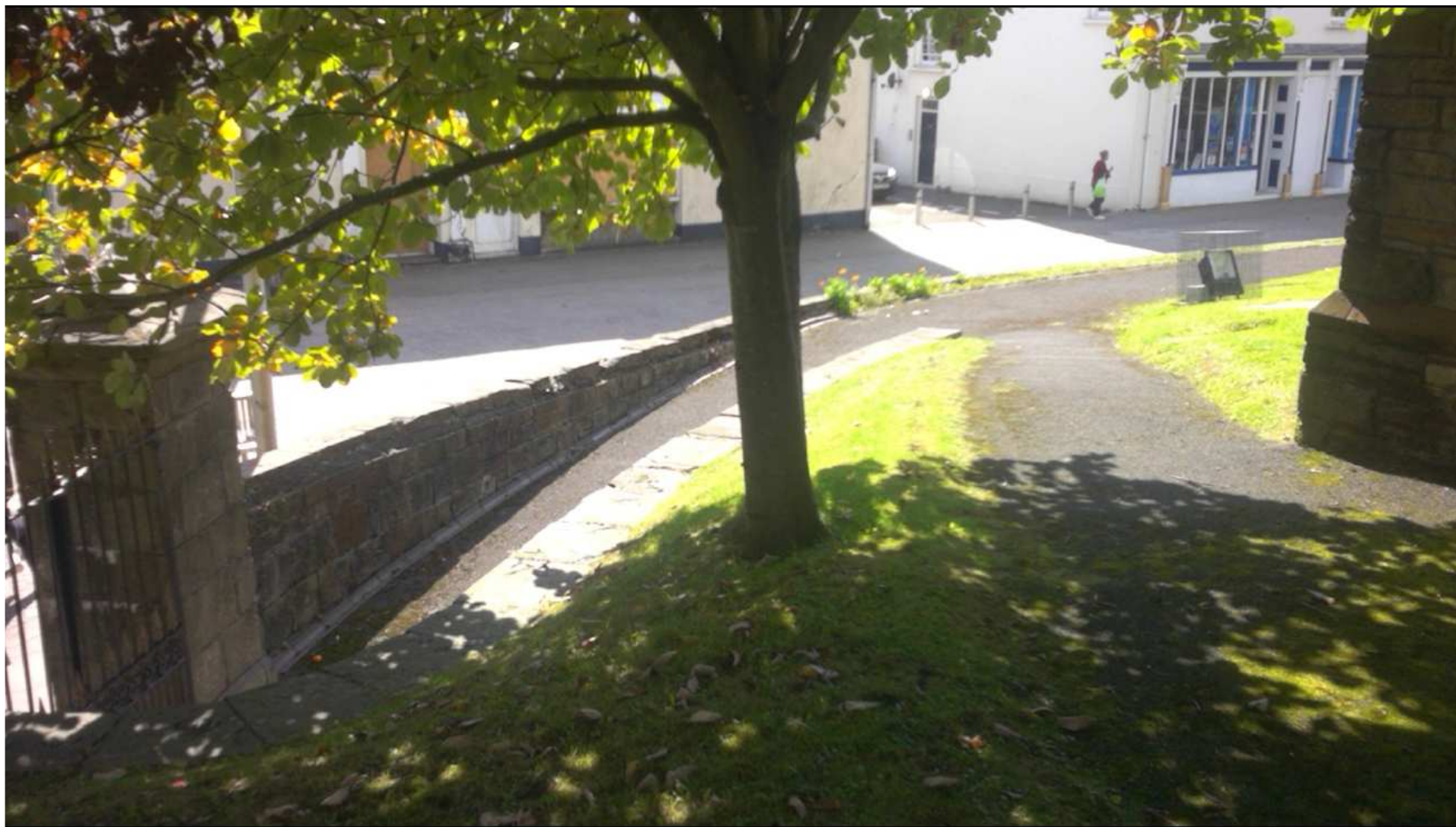
S/37325



Tudalen 57

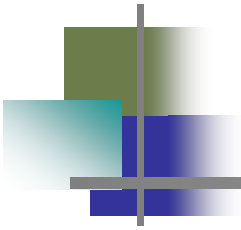
Tudalen 58

S/37325



S/37325





S/37581

S/37581

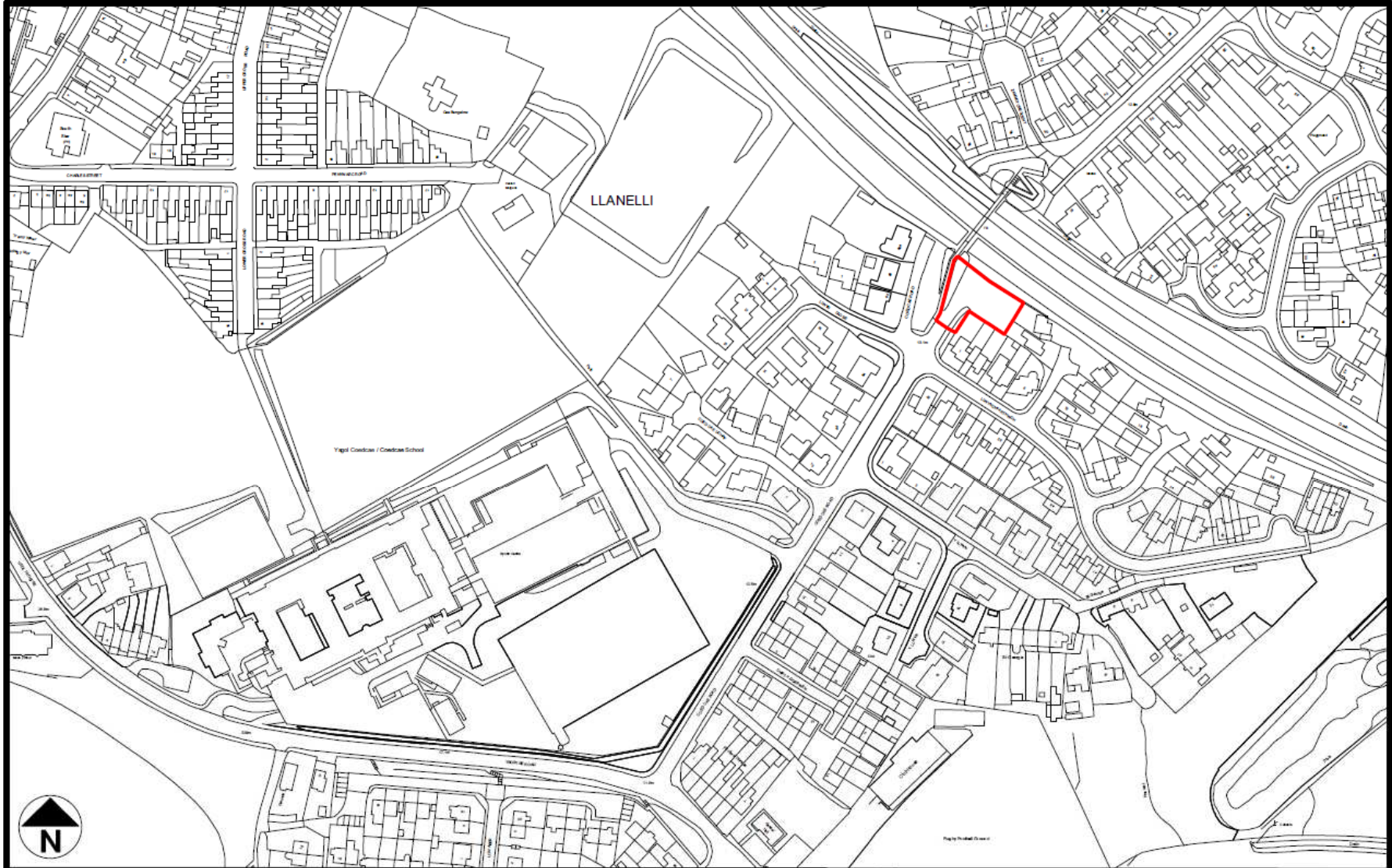


Tudalen 61

S/37581



S/37581



Title: OUTLINE PLANNING APPLICATION FOR
RESIDENTIAL DEVELOPMENT, LAND AT
LLWYNCYFARTHWCH, COEDCAE, LLANELLI.

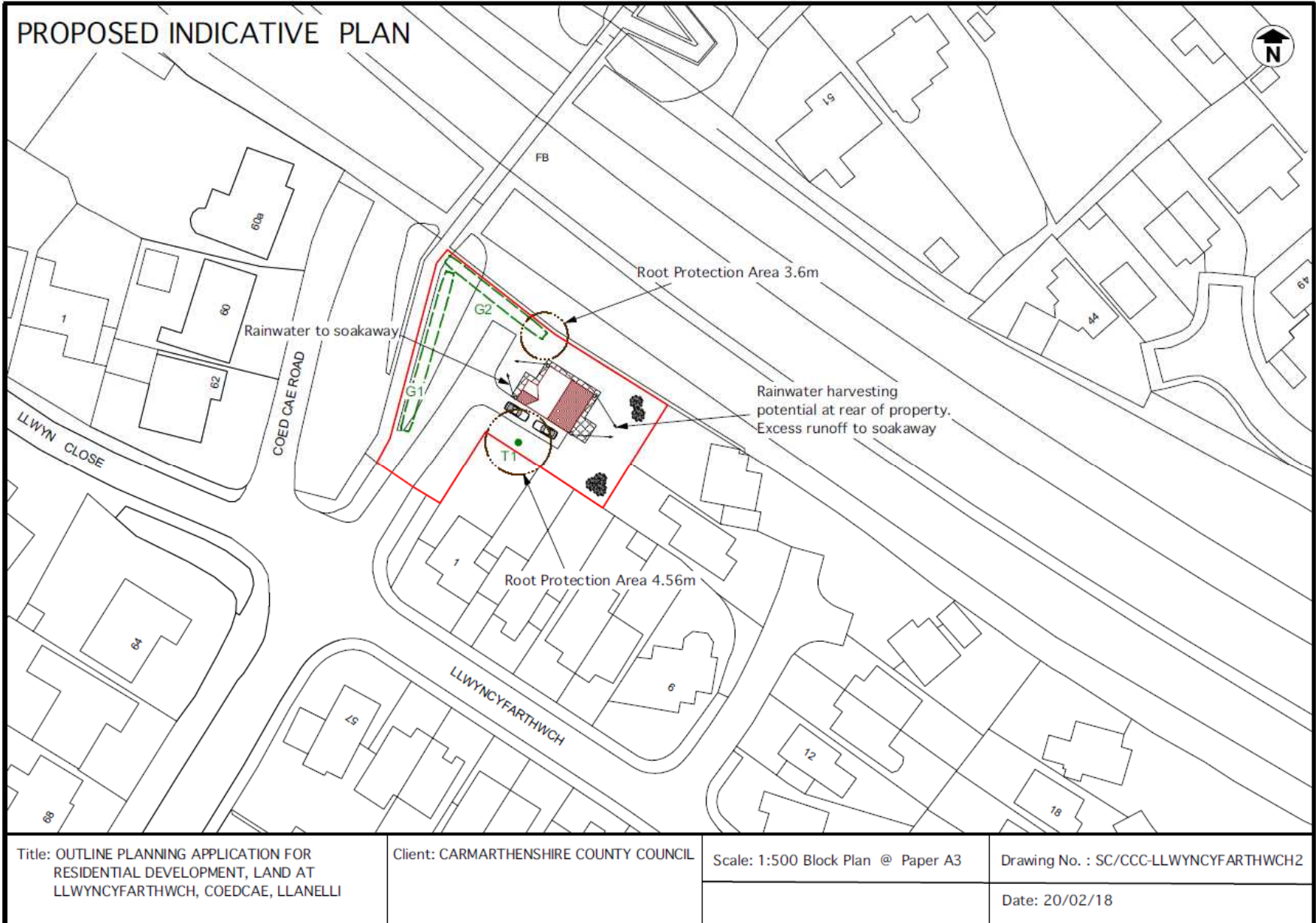
Client: CARMARTHENSHIRE COUNTY COUNCIL

Scale: 1:2500 Location Plan @ Paper A4

Drawing No. : SC/CCC-LLWYNCYFARTHWCH1

Date: 20/02/18

S/37581



S/37581



Tudalen 65

Tudalen 66

S/37581



S/37581



Tudalen 67

Tudalen 68

S/37581



S/37581



Tudalen 69

Tudalen 70

S/37581





S/37693

Tudalen 72

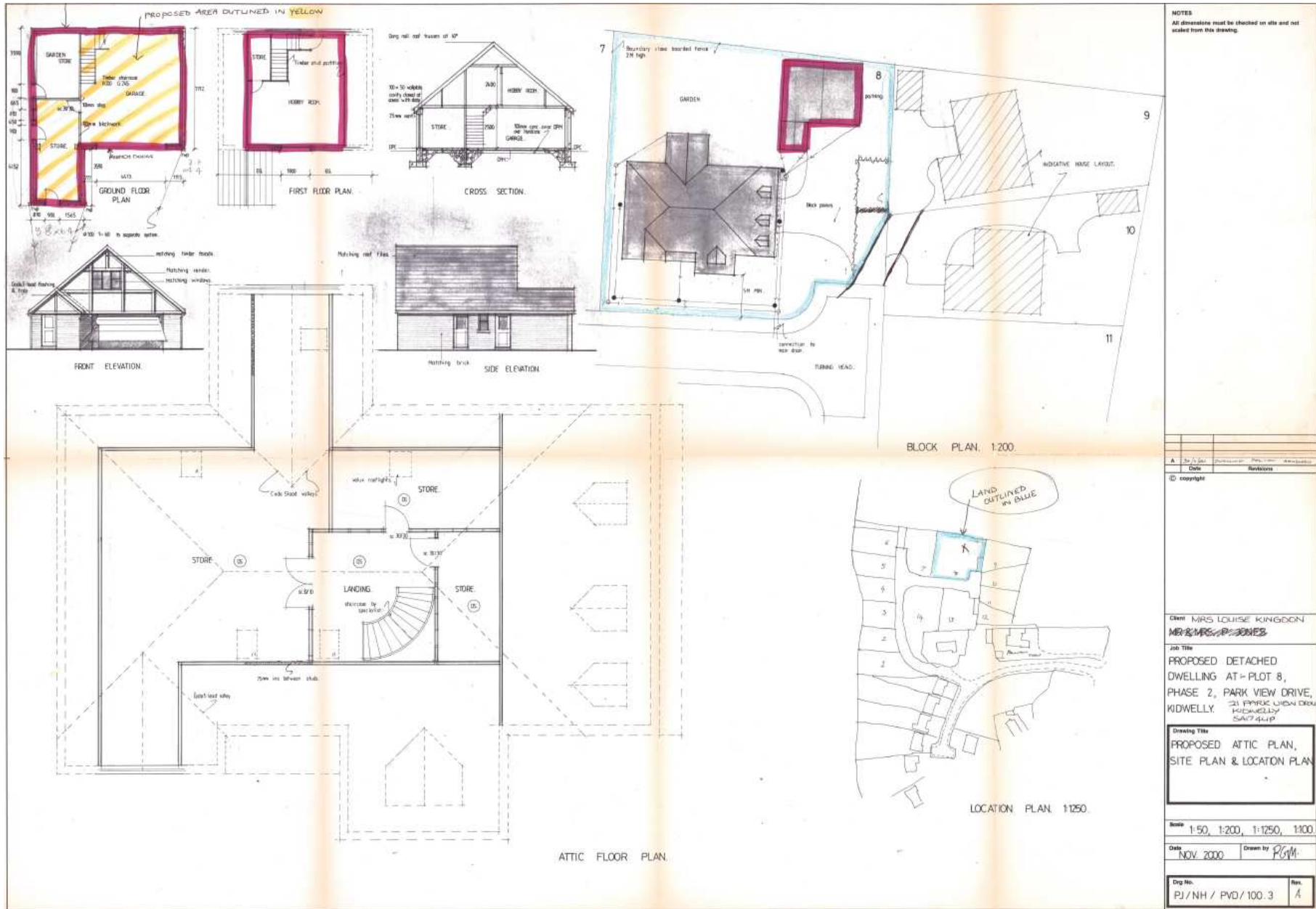
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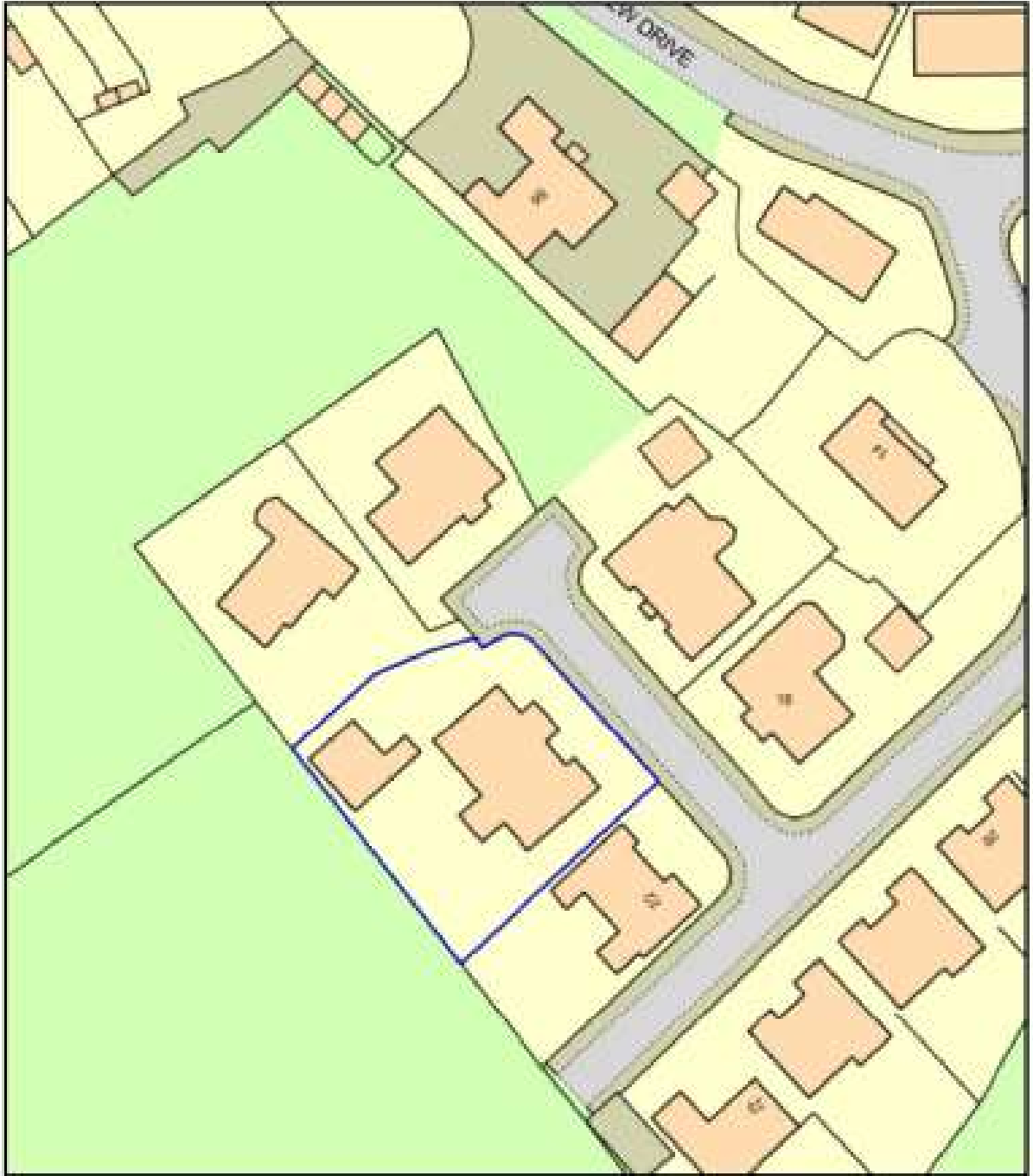
S/37693



S/37693

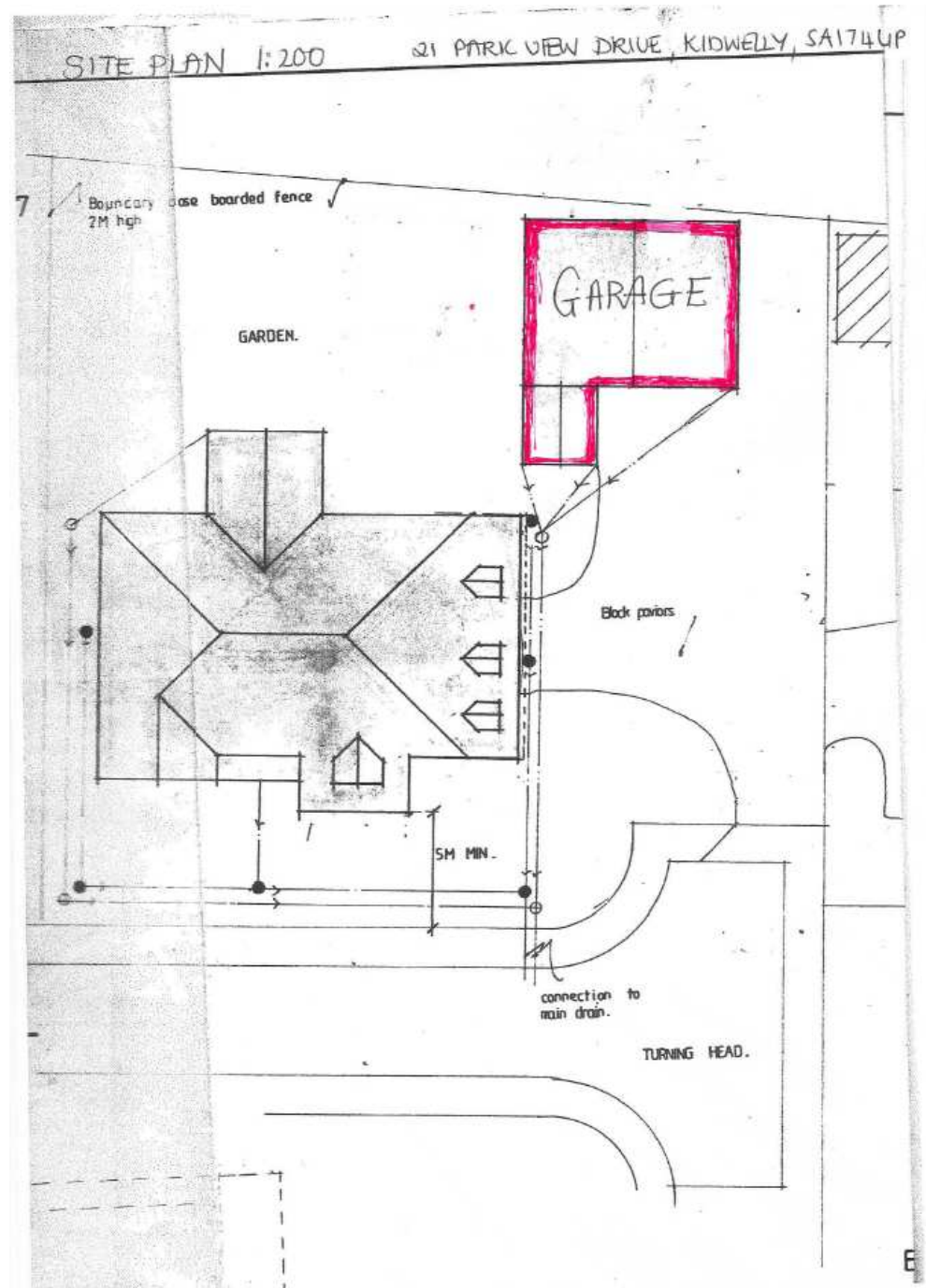


S/37693



Tudalen 75

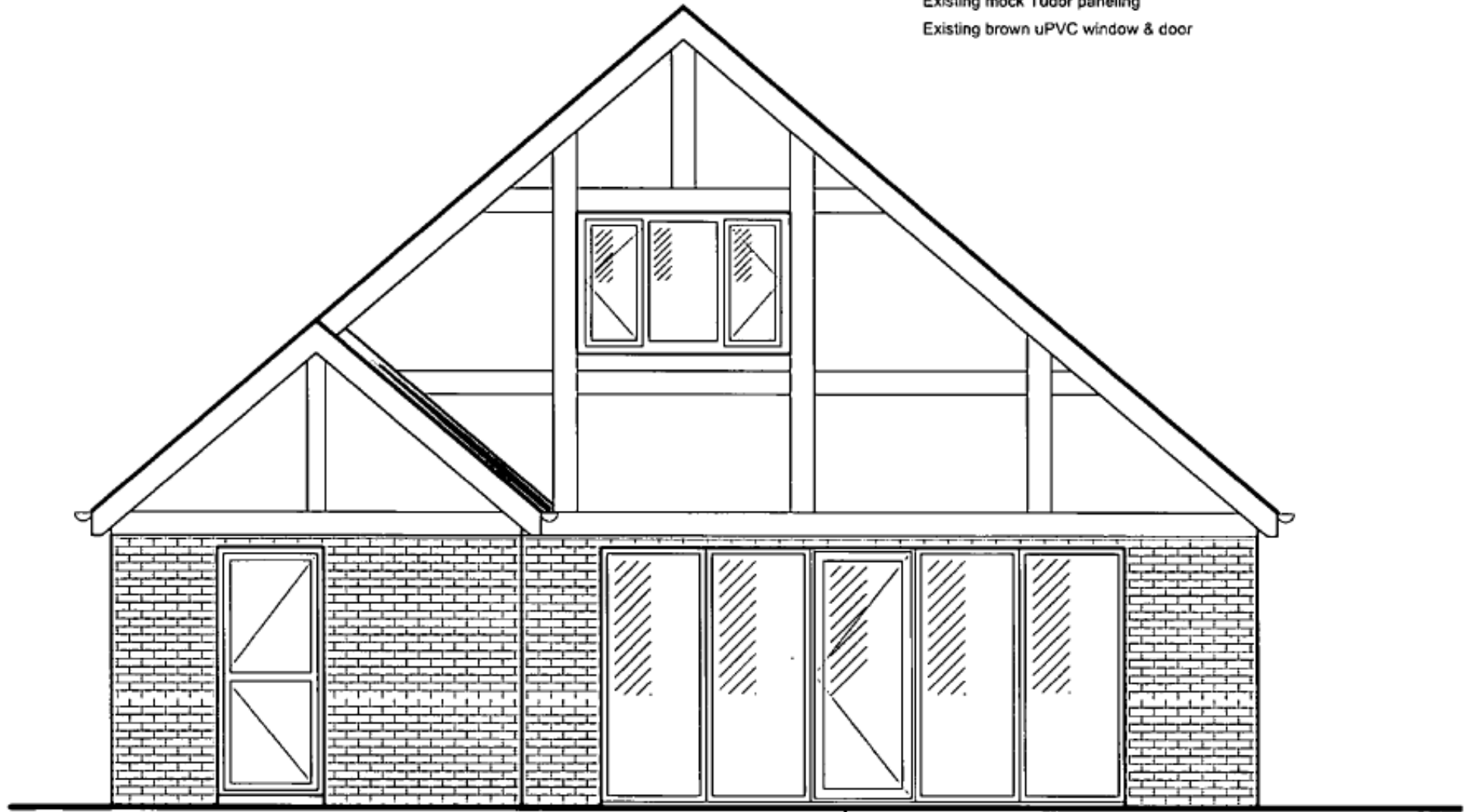
S/37693



S/37693

Materials

- Existing brickwork
- Existing mock Tudor paneling
- Existing brown uPVC window & door



Proposed brown uPVC glazed windows
& door to replace garage door

PROPOSED ELEVATION

MR DAVID KINGDON
21 PARK VIEW DRIVE, KIDWELLY SA17 4UP

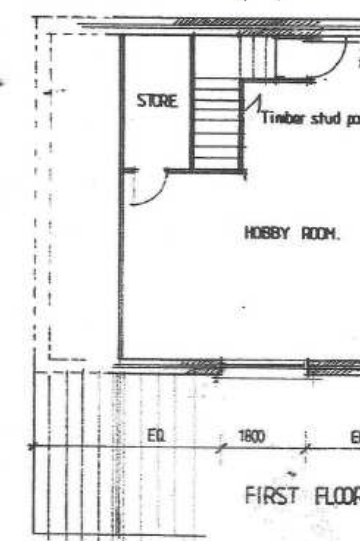
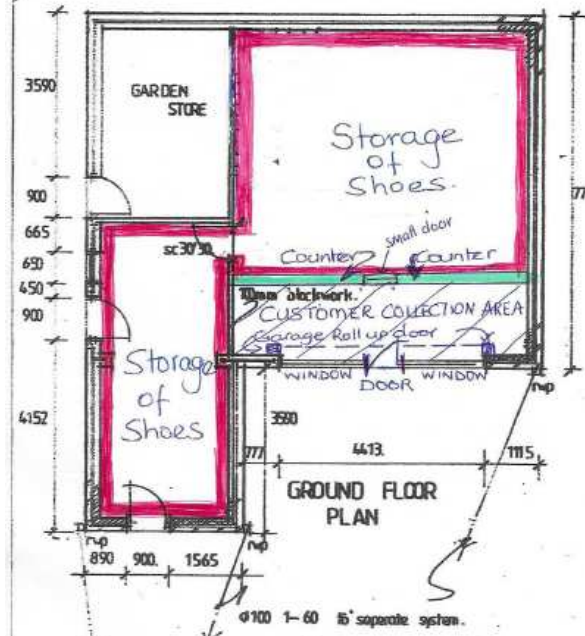
SCALE 1:50 @ A4

PLANNING

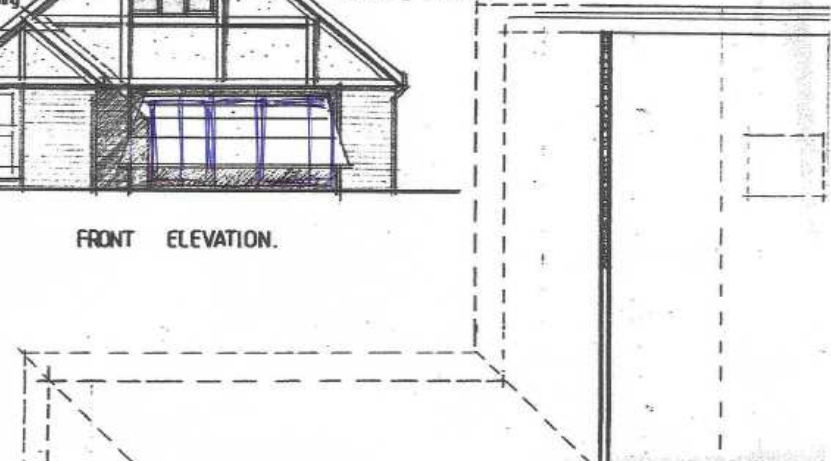
S/37693

REVISED FLOOR PLAN : GARAGE AT 21 PARK VIEW DRIVE, KIDWELLY
S/37693

19/9/18

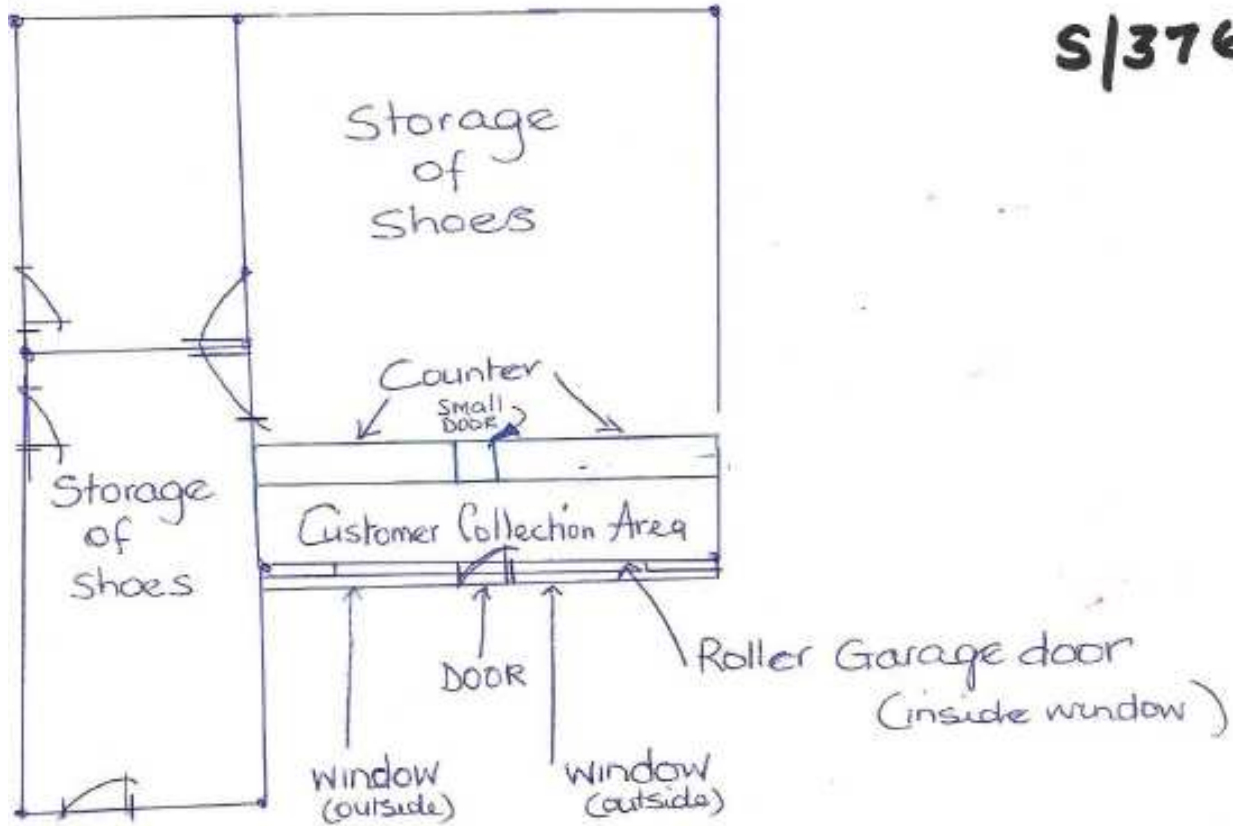


FRONT ELEVATION.



S/37693

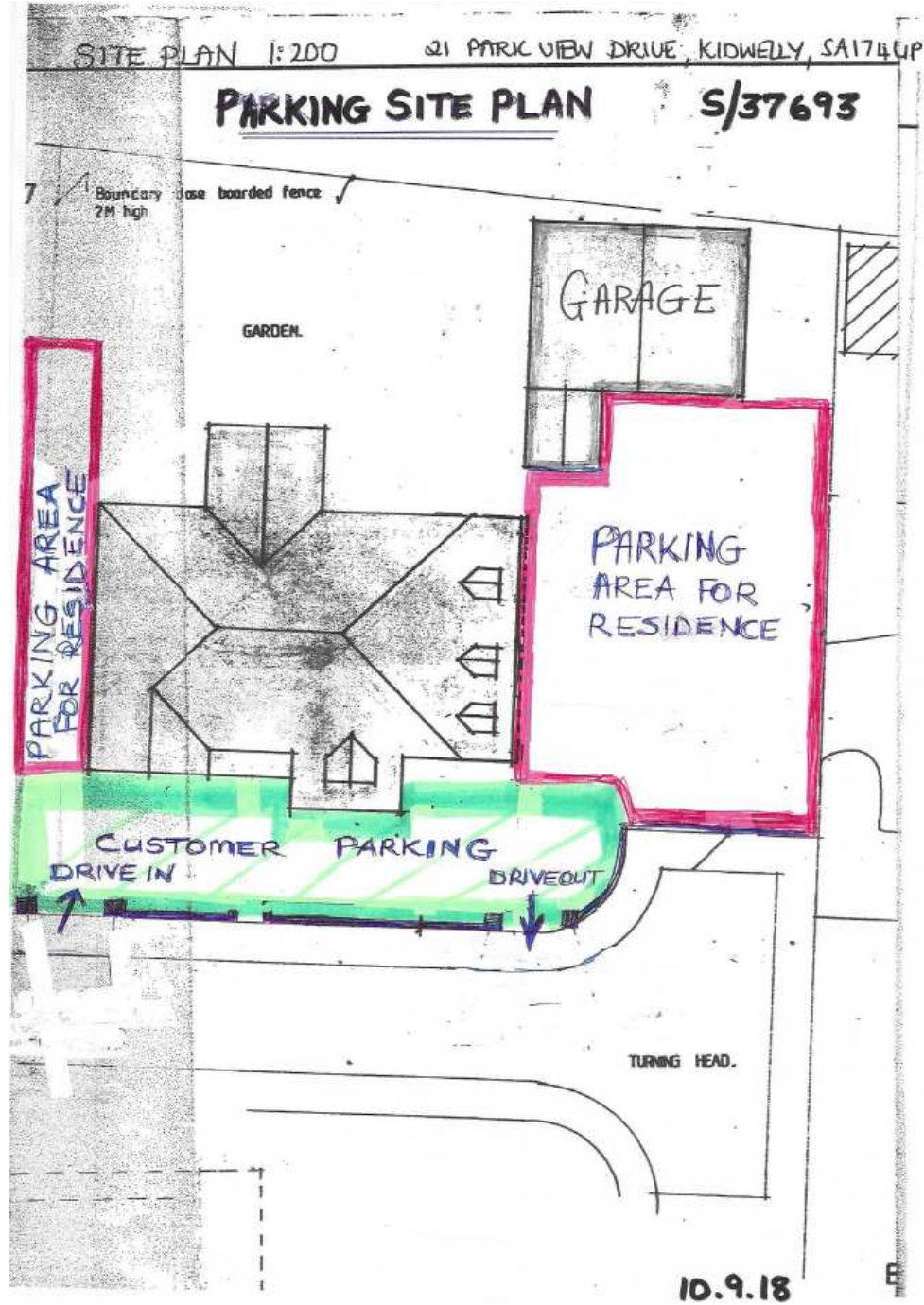
S/37693



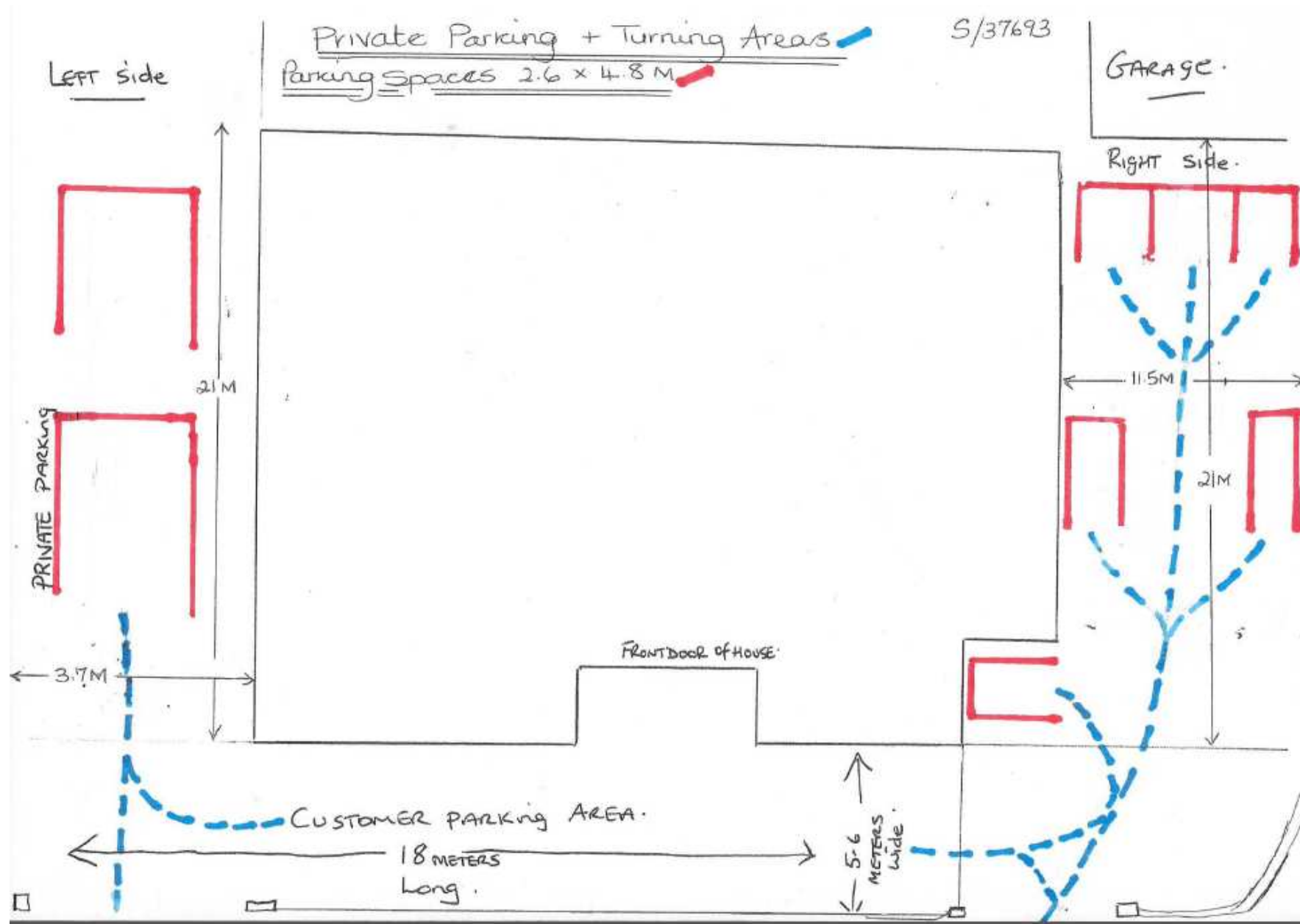
REVISED FLOOR PLAN
FOR GARAGE AT
21 PARK VIEW DRIVE, KIDWELLY.

10/9/18

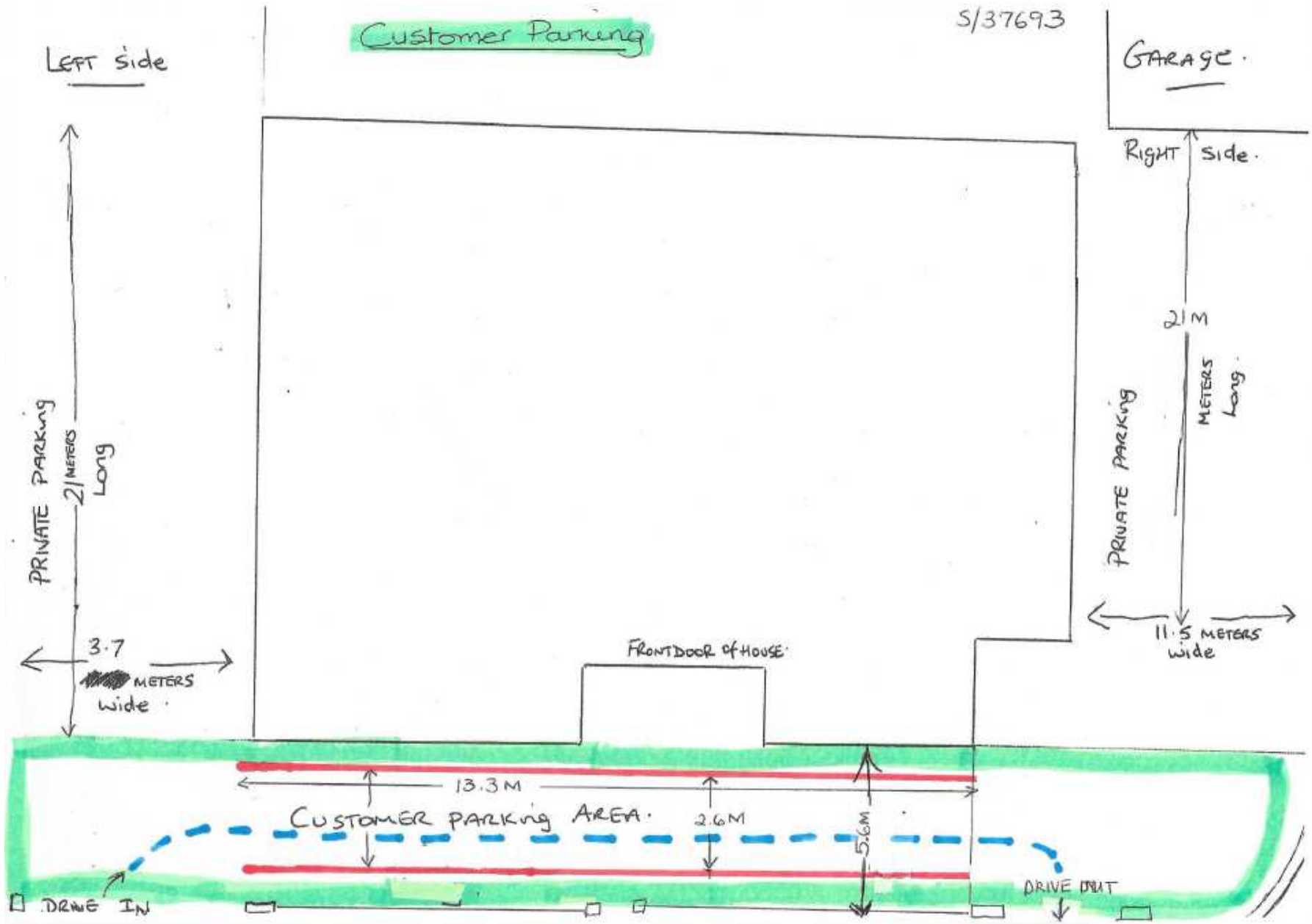
S/37693



S/37693



S/37693



S/37693



Tudalen 83

Tudalen 84

S/37693



S/37693



Tudalen 85

Tudalen 86

S/37693



S/37693



S/37693



S/37693



S/37693



S/37693



Tudalen 91

Tudalen 92

S/37693



S/37693



Tudalen 93

Tudalen 94

S/37693



S/37693



Tudalene 95

Tudalen 96

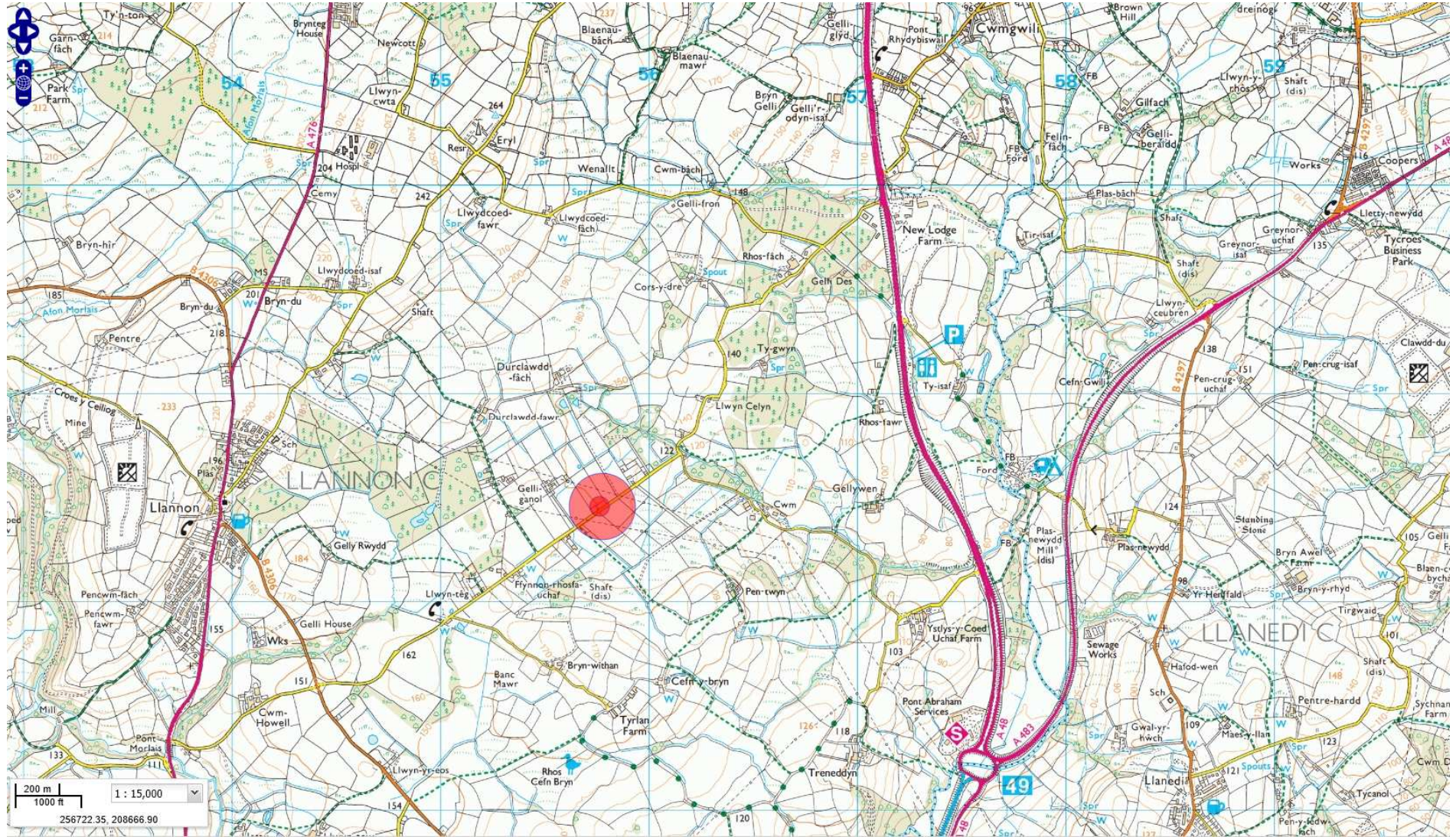
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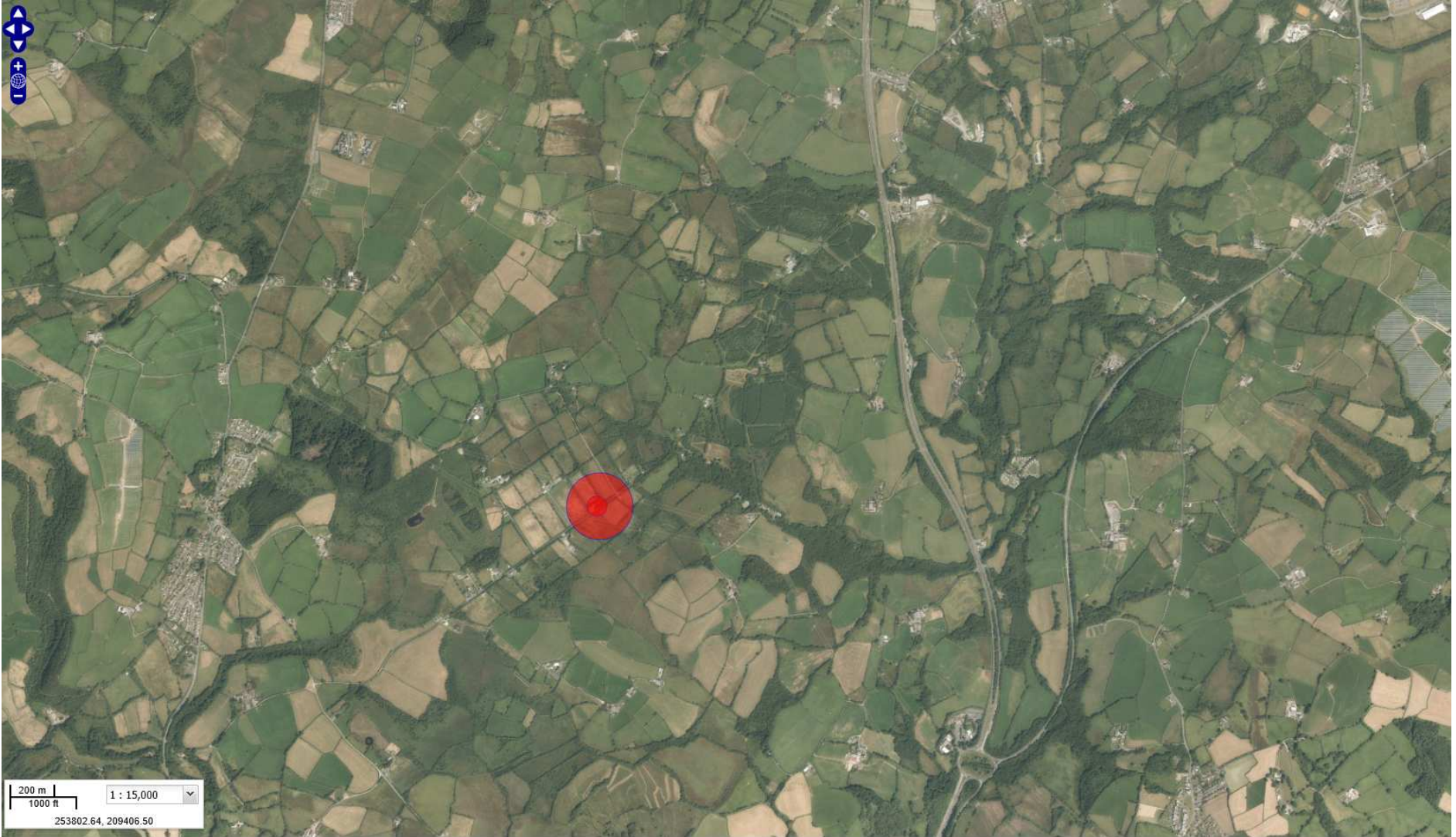


S/37793

S/37793

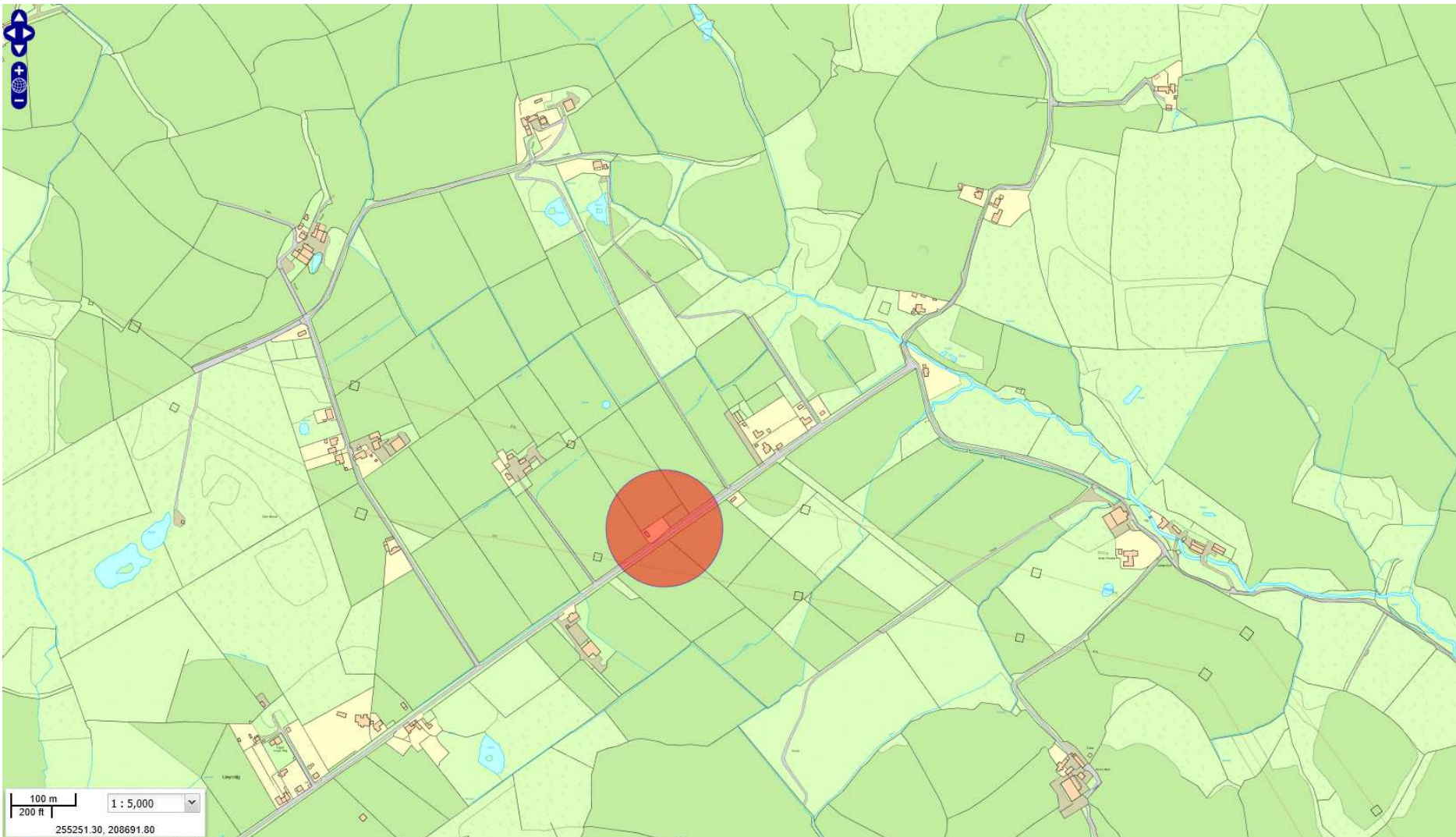


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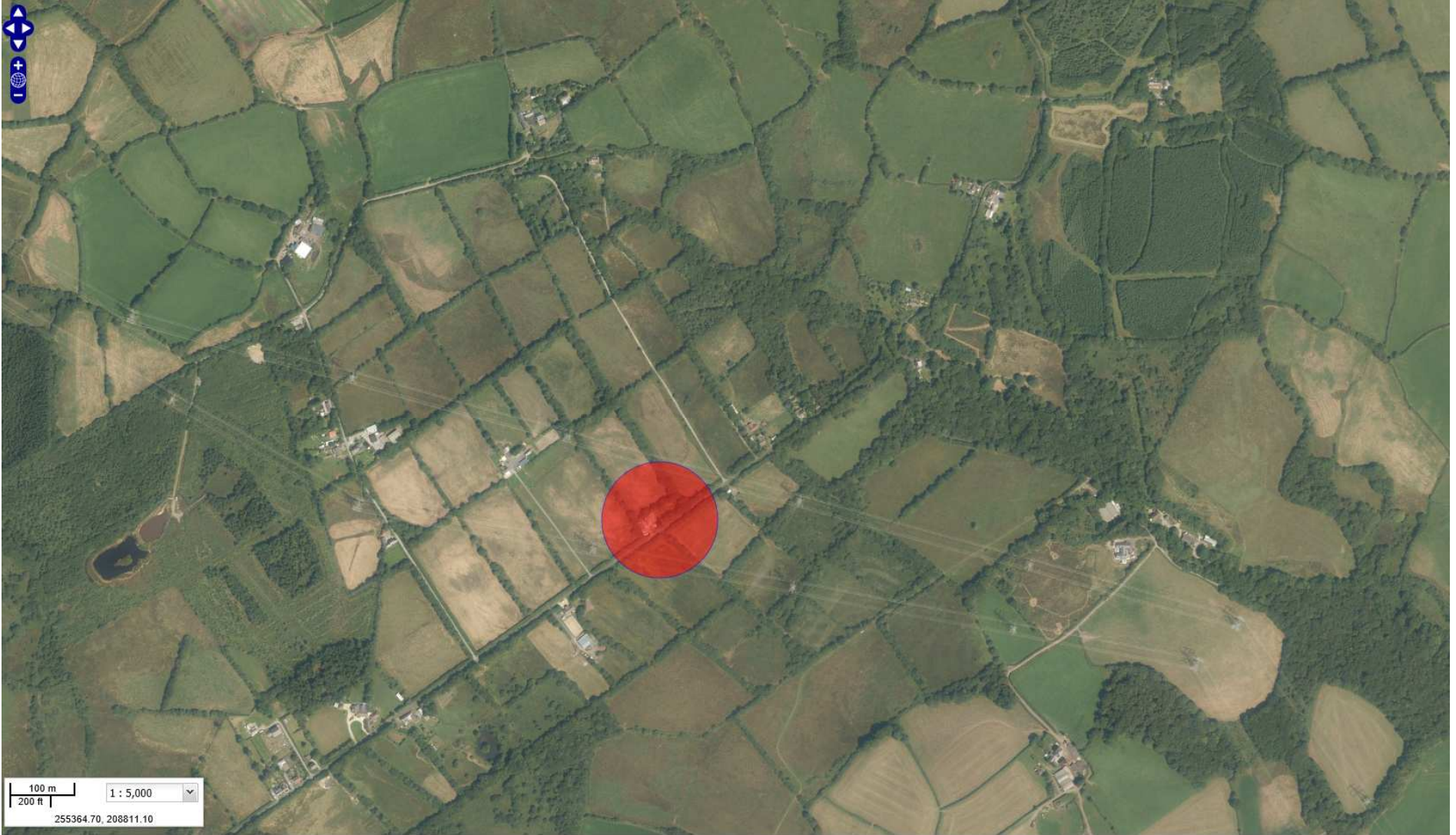


Tudalen 99

S/37793

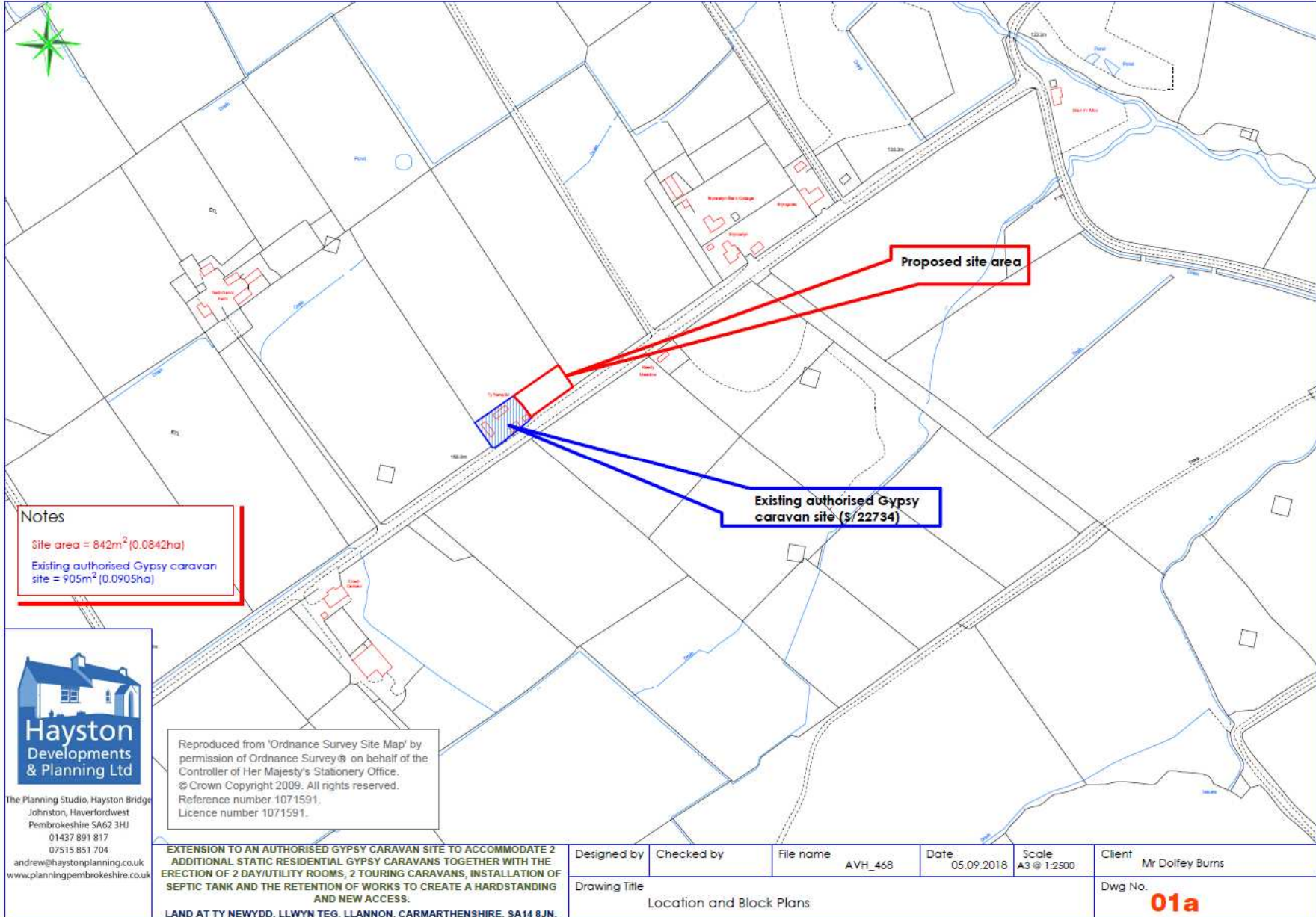


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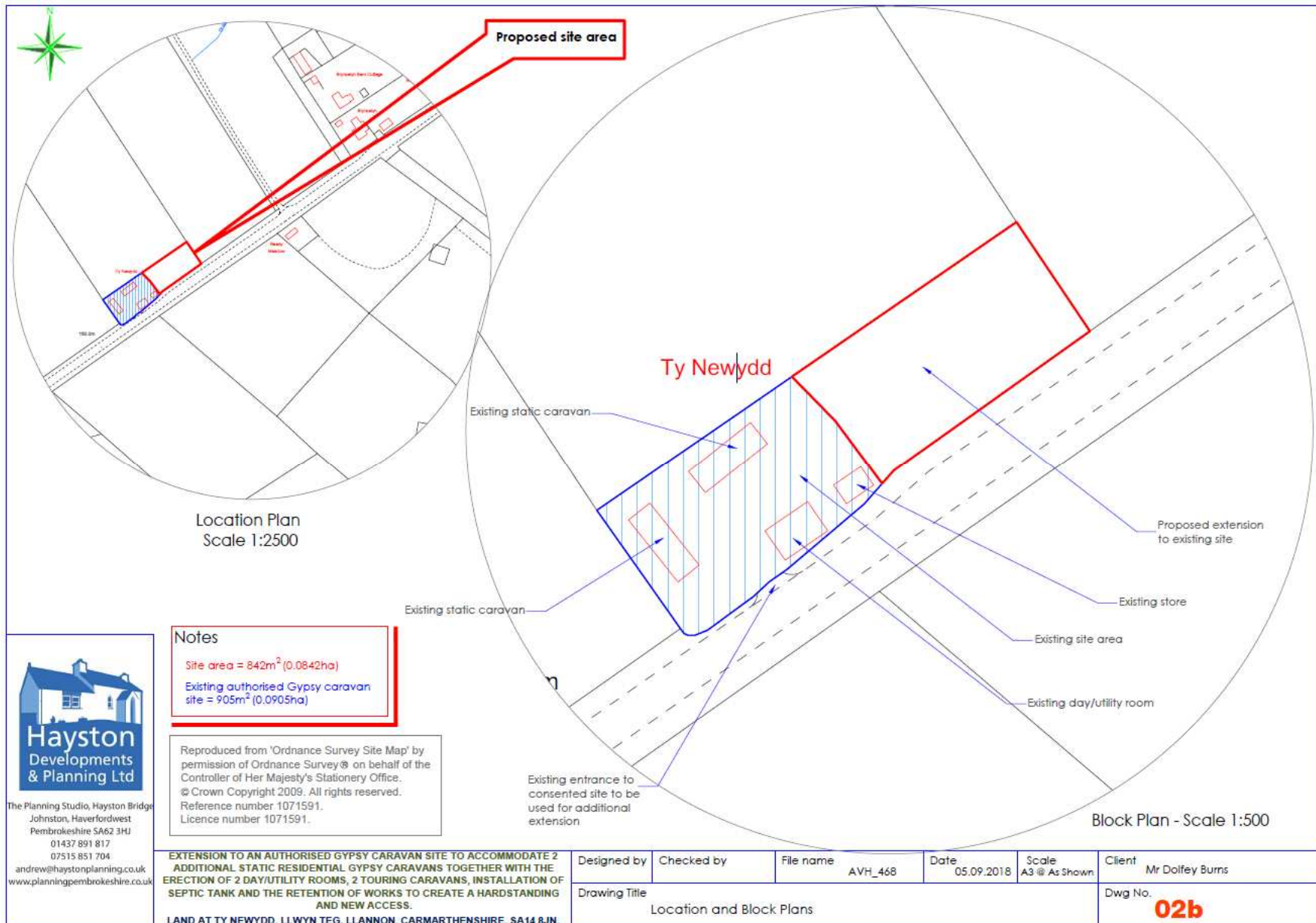
Tudalen 101

S/37793



The Planning Studio, Hayston Bridge
 Johnston, Haverfordwest
 Pembrokeshire SA62 3HJ
 01437 891 817
 07515 851 704
 andrew@haystonplanning.co.uk
 www.planningpembrokeshire.co.uk

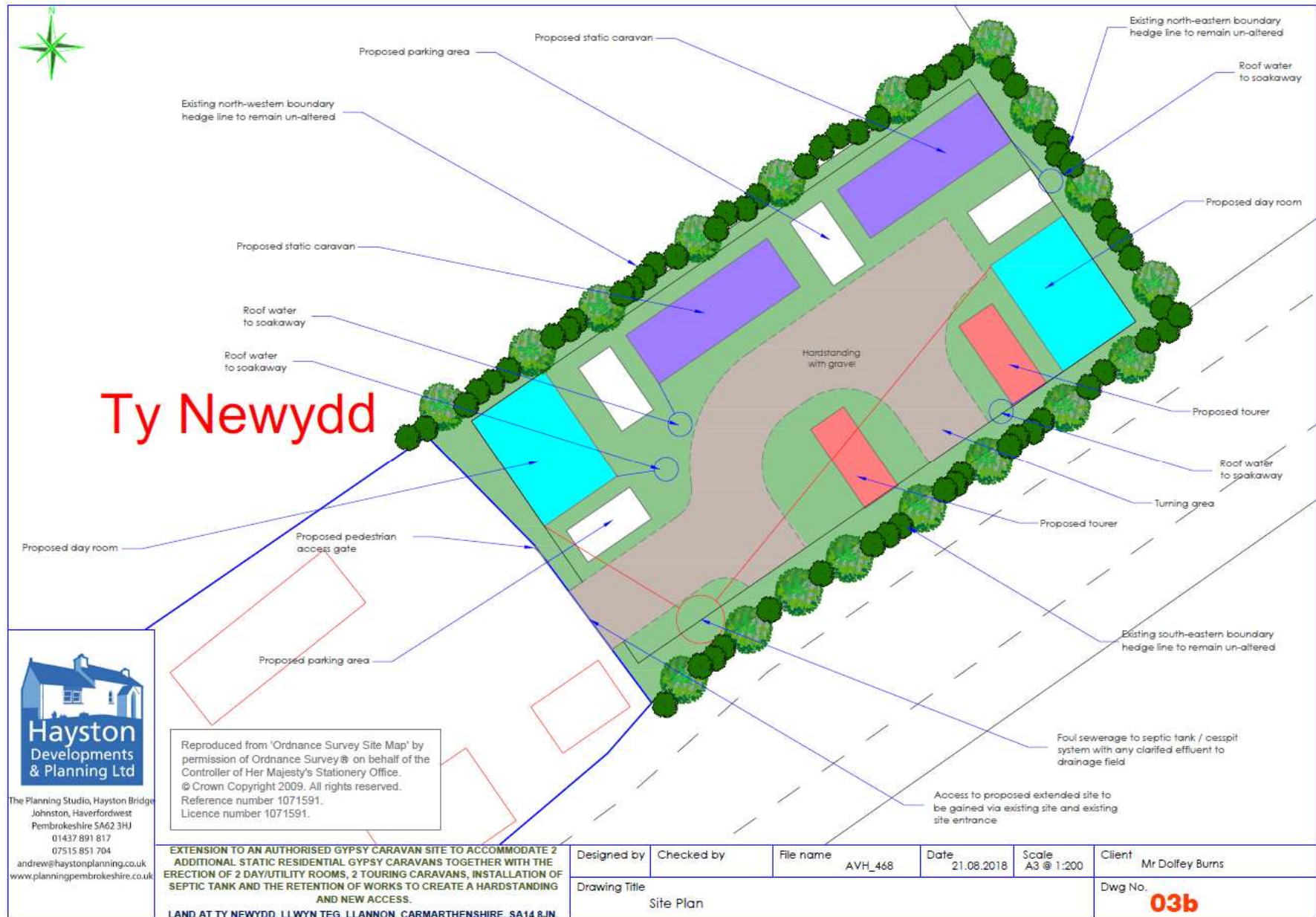
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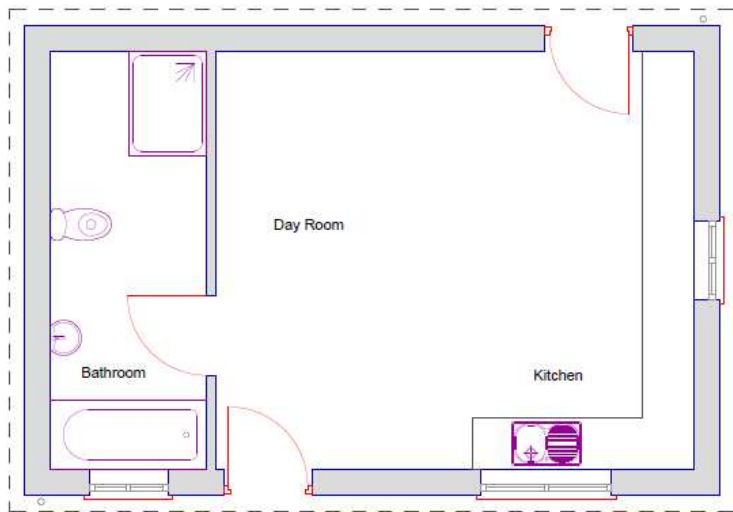
Hayston
Developments
& Planning Ltd

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Johnston, Haverfordwest
Pembrokeshire SA62 3HJ
01437 891 817
07515 851 704
andrew@haystonplanning.co.uk
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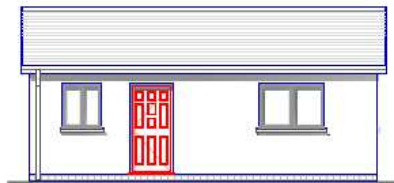
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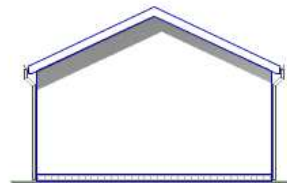
Floor Plan - Scale 1:50

EXTERNAL FINISHES

1.	Roof Covering	Natural or composite slate - grey on colour
2.	Walls	Sand/cement render - colour to be white or cream
3.	Rain Water Goods	Grey uPVC half round guttering with circular downpipes
4.	Windows	Wooden windows - painted white or white uPVC
5.	Doors	Wooden doors - painted white or white uPVC

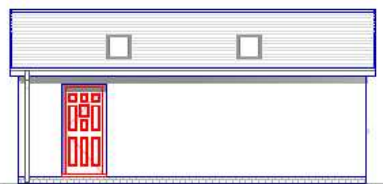


West Elevation



South Elevation

Elevations - Scale 1:100



East Elevation



North Elevation

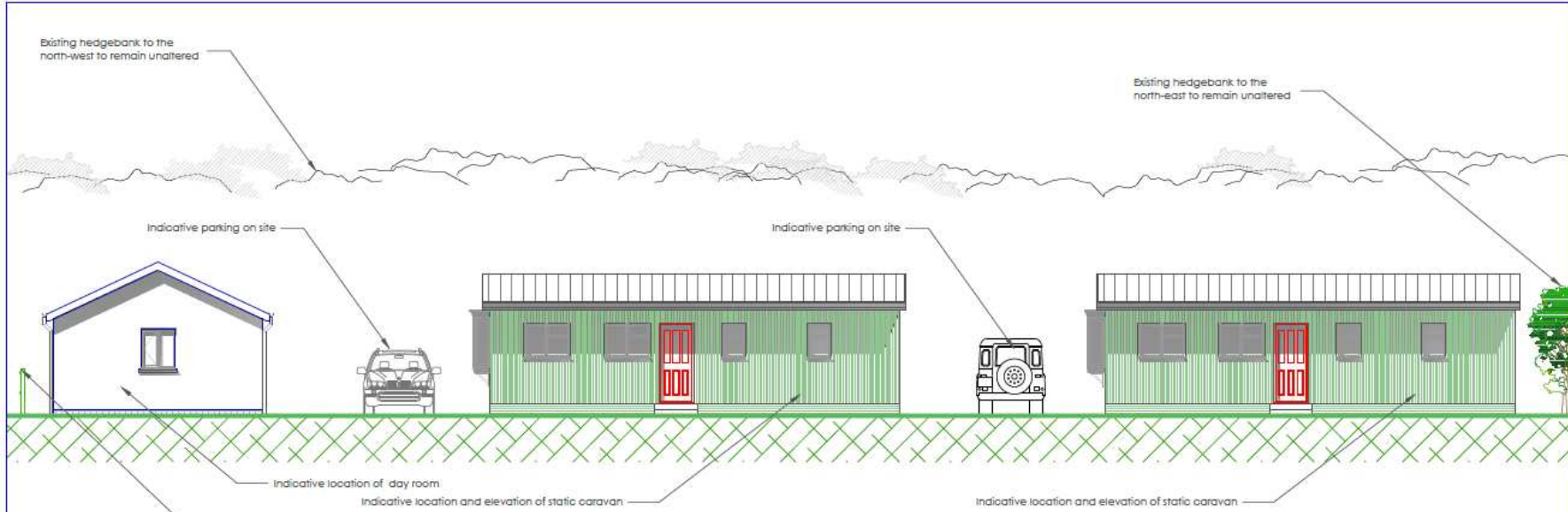


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EXTENSION TO AN AUTHORISED GYPSY CARAVAN SITE TO ACCOMMODATE 2
ADDITIONAL STATIC RESIDENTIAL GYPSY CARAVANS TOGETHER WITH THE
ERECTION OF 2 DAY/UTILITY ROOMS, 2 TOURING CARAVANS, INSTALLATION OF
SEPTIC TANK AND THE RETENTION OF WORKS TO CREATE A HARDSTANDING
AND NEW ACCESS.
LAND AT TY NEWYDD, LLWYN TEG, LLANNON, CARMARTHENSHIRE, SA14 8JN.

Designed by	Checked by	File name	Date	Scale	Client
		AVH_468	14.08.2018	A3 @ As Shown	Mr Dolfey Burns
Drawing Title					Dwg No.
Floor Plan and Elevations of Day Room					05

S/37793



Sectional Elevation Showing Proposals in Context

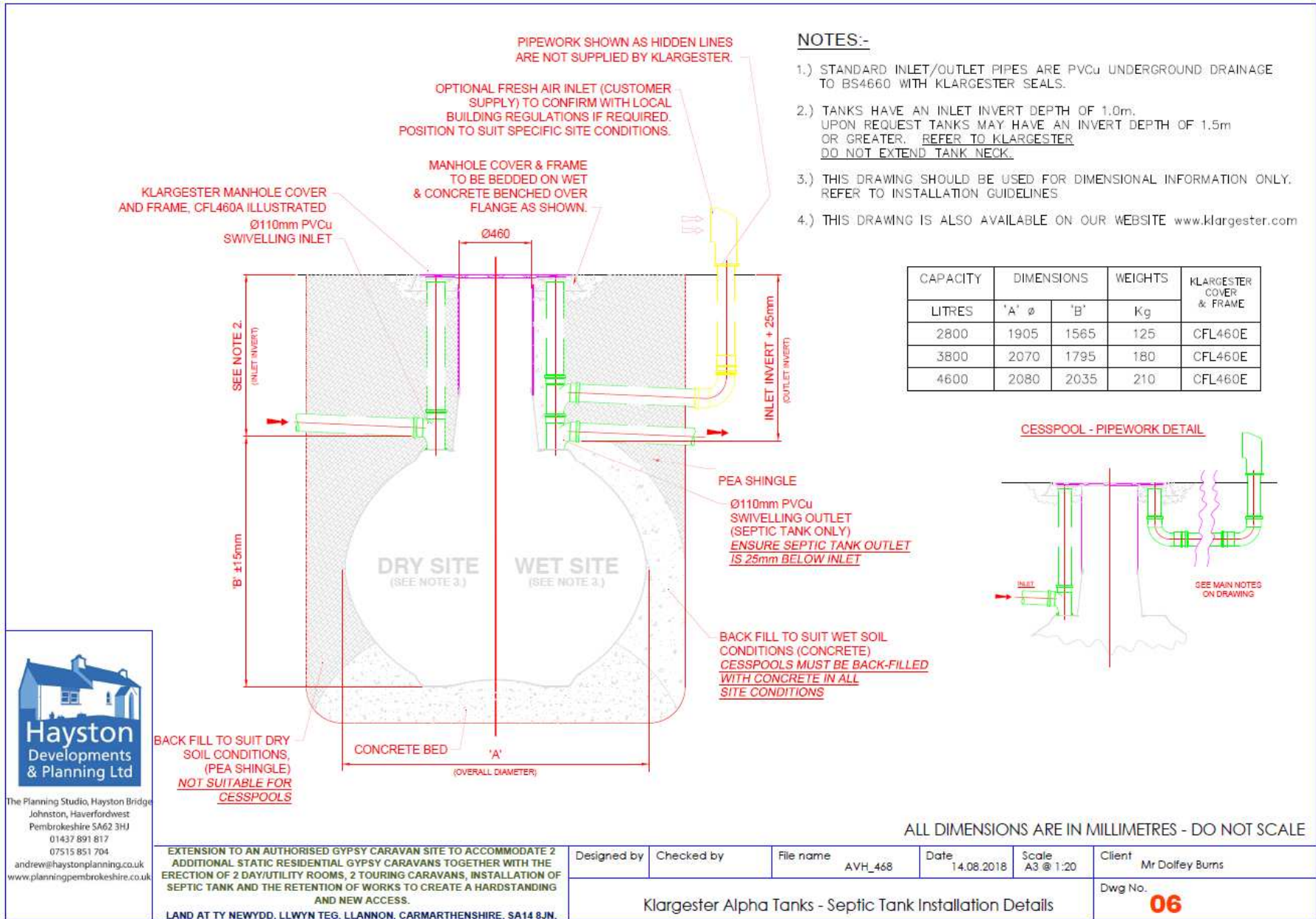


The Planning Studio, Hayston Bridge
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EXTENSION TO AN AUTHORISED GYPSY CARAVAN SITE TO ACCOMMODATE 2 ADDITIONAL STATIC RESIDENTIAL GYPSY CARAVANS TOGETHER WITH THE ERECTION OF 2 DAY/UTILITY ROOMS, 2 TOURING CARAVANS, INSTALLATION OF SEPTIC TANK AND THE RETENTION OF WORKS TO CREATE A HARDSTANDING AND NEW ACCESS.
 LAND AT TY NEWYDD, LLWYN TEG, LLANNON, CARMARTHENSHIRE, SA14 8JN.

Designed by	Checked by	File name AVH_468	Date 14.08.2018	Scale A3 @ 1:100	Client Mr Dolfey Burns
Drawing Title Context Section					Dwg No. 04

S/37793



Hayston Developments & Planning Ltd
 The Planning Studio, Hayston Bridge
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 Pembrokeshire SA62 3HJ
 01437 891 817
 07515 851 704
 andrew@haystonplanning.co.uk
 www.planningpembrokeshire.co.uk

EXTENSION TO AN AUTHORISED GYPSY CARAVAN SITE TO ACCOMMODATE 2 ADDITIONAL STATIC RESIDENTIAL GYPSY CARAVANS TOGETHER WITH THE ERECTION OF 2 DAY/UTILITY ROOMS, 2 TOURING CARAVANS, INSTALLATION OF SEPTIC TANK AND THE RETENTION OF WORKS TO CREATE A HARDSTANDING AND NEW ACCESS.
LAND AT TY NEWYDD, LLWYN TEG, LLANNON, CARMARTHENSHIRE, SA14 8JN.

Designed by	Checked by	File name	Date	Scale	Client
		AVH_468	14.08.2018	A3 @ 1:20	Mr Dolfey Burns
Klargester Alpha Tanks - Septic Tank Installation Details					Dwg No. 06

ALL DIMENSIONS ARE IN MILLIMETRES - DO NOT SCALE

Tudalen 108

S/37793



S/37793



Tudalen 109

Tudalen 110

S/37793



S/37793



Tudalen 111

Tudalen 112

S/37793





***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

18 HYDREF 2018

18 OCTOBER 2018

***RHANBARTH Y
GORLLEWIN***

**AREA
WEST**

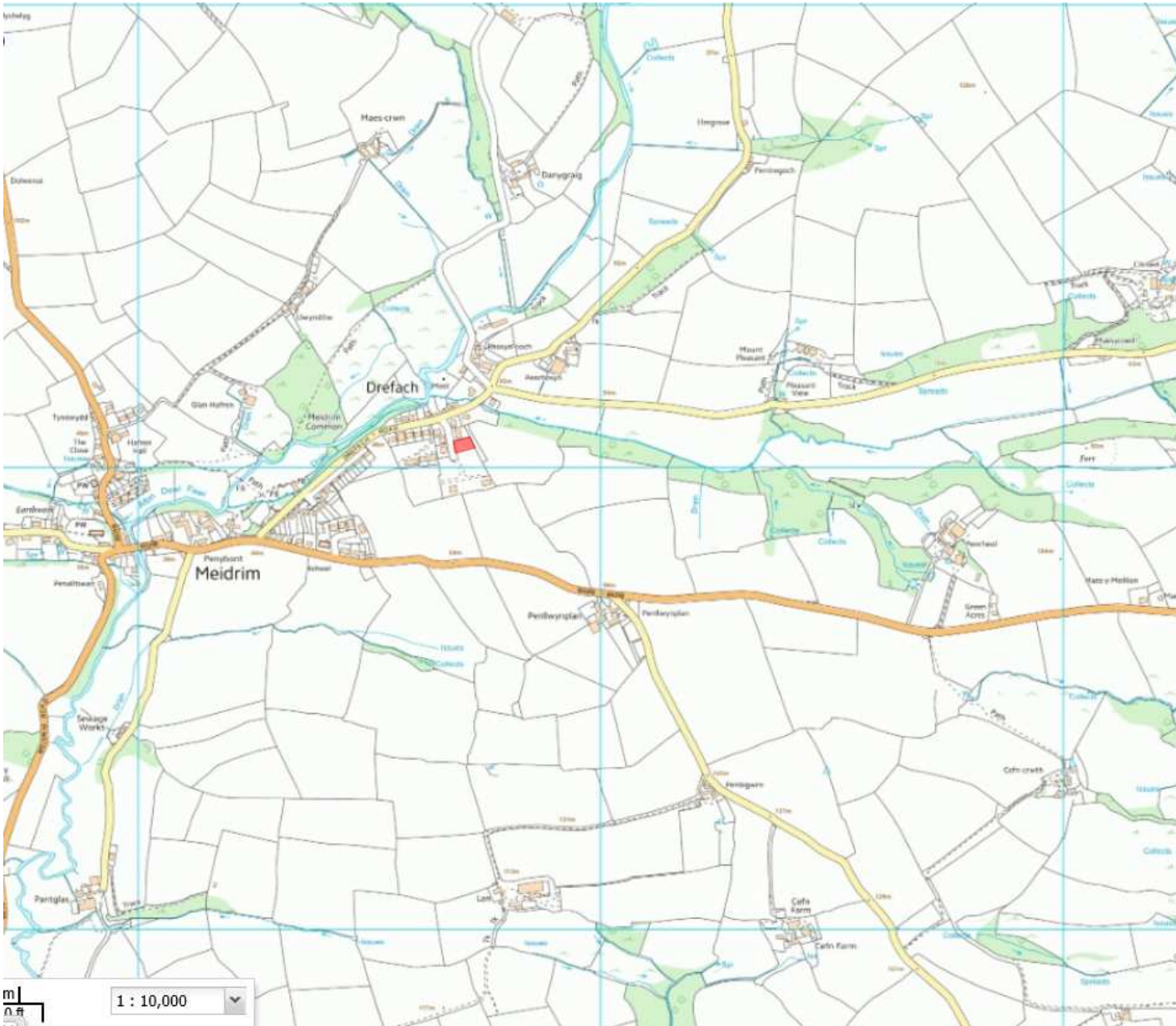
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



W/37263

W/37263



W/37263



Tudalen 118

W/37263



W/37263

THIS PLAN IS REPRODUCED UNDER PAPER
MAP COPYING LICENCE
CONTRACT NO. 40007964
A/C NO. 1000006388



W/37263

FRONT ELEVATION

REAR ELEVATION

SIDE ELEVATION

SIDE ELEVATION

HOUSE AT MEIDRIM

partnership
 HAROLD METCALFE partnership
 37 Spleen Street, Carmarthen, Dyfed, Wales, SA31 3BA
 Tel: 01493 257427 Fax: 01493 257428

AMENDED PLANS RECEIVED
 07 APR 2008
 CARMARTHENSHIRE COUNTY COUNCIL

CARMARTHENSHIRE COUNTY COUNCIL
 PLANNING SERVICE
 COUNCIL MEETING 24 APR 2008
 Signed: *[Signature]*

Scale: 1:50
 Date: 11/11/07
 Drawing No: 37/37263/240

W/37263



Tudalen 121

Tudalen 122

W/37263



W/37263



Tudalen 123

Tudalen 124

W/37263



W/37263



Tudalen 125

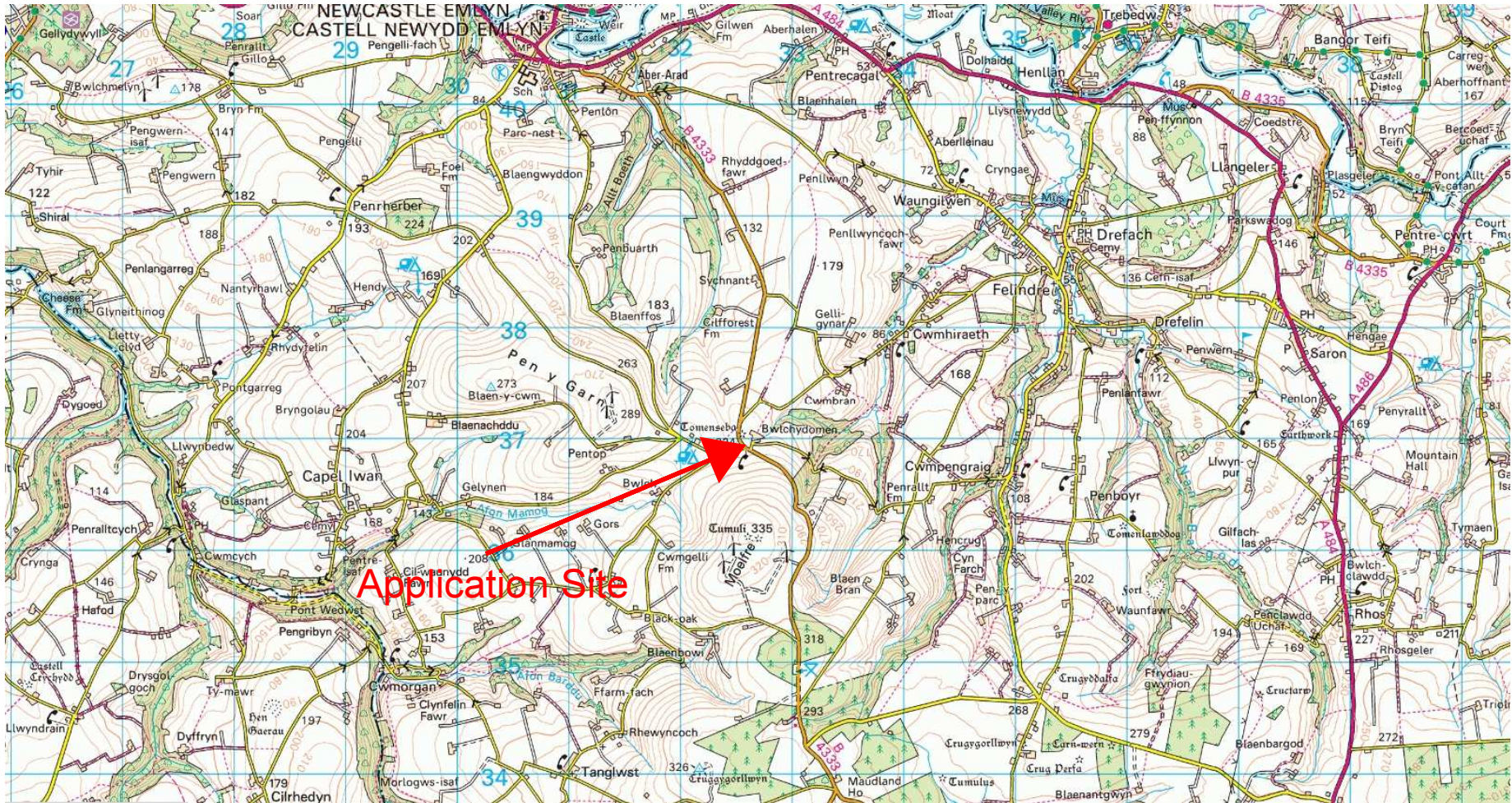
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

**APPLICATIONS RECOMMENDED
FOR REFUSAL**



W/36131

W/36131

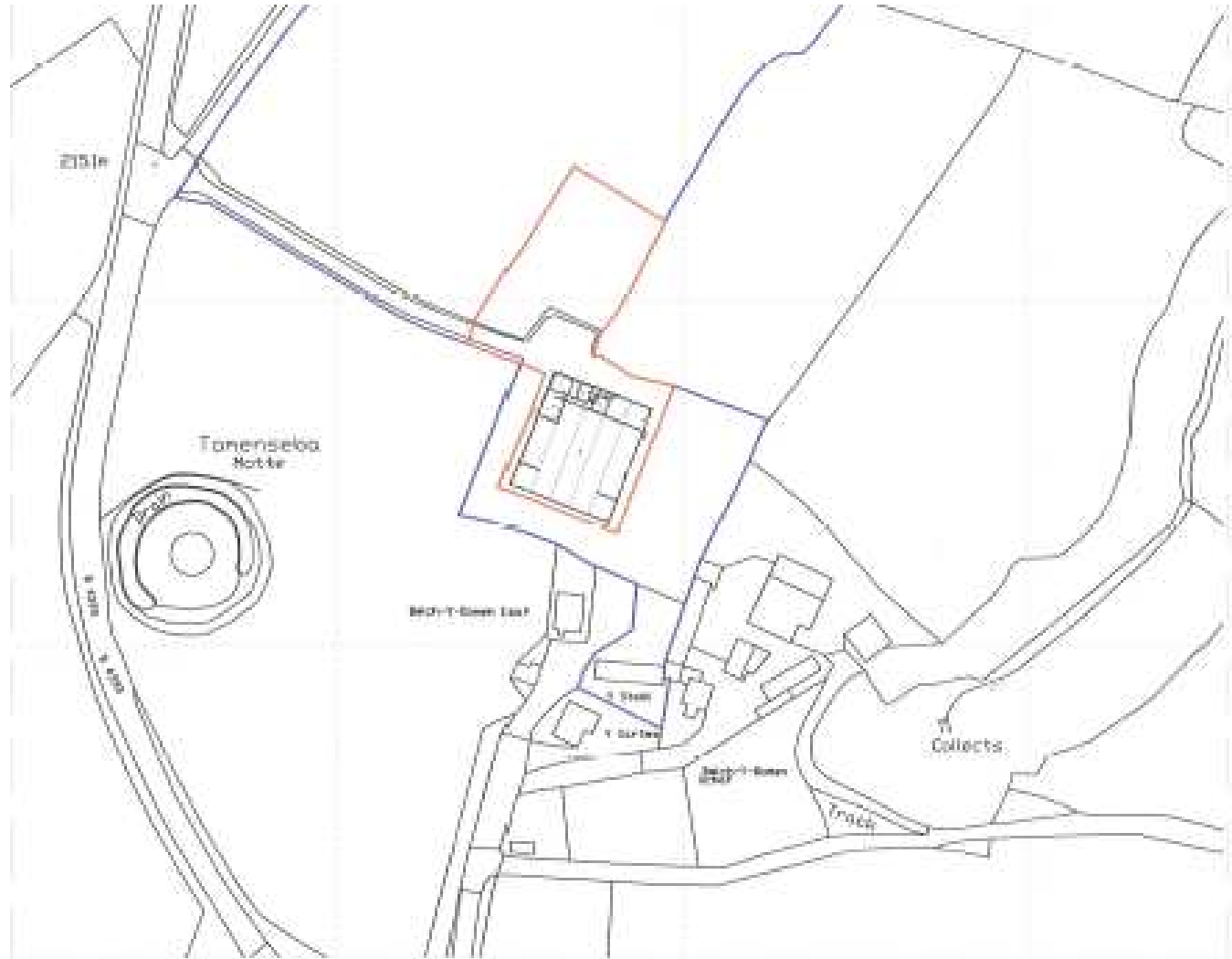


W/36131



Tudalen 129

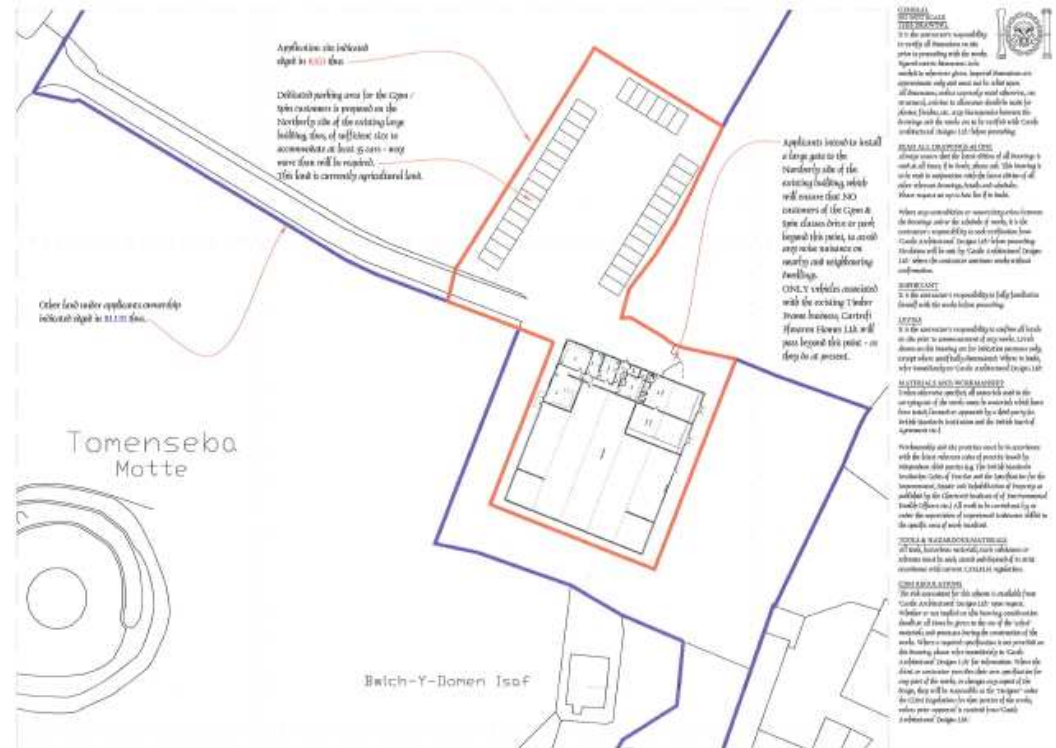
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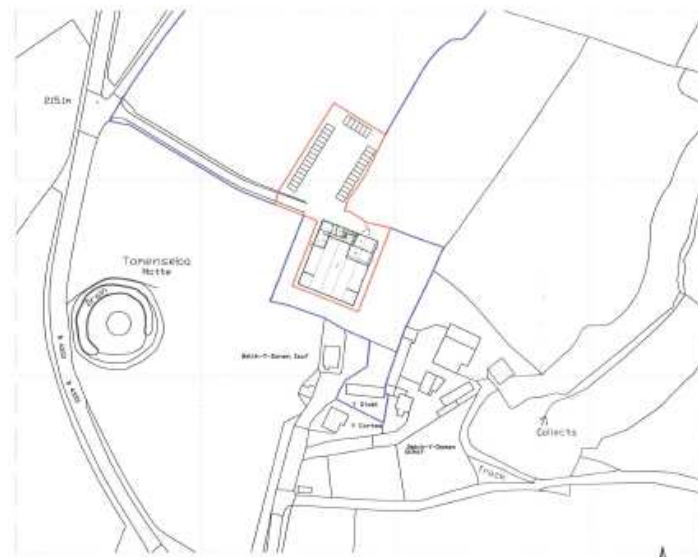
Site Location Map - As Existing 1:11250

W/36131

Tudalen 131



Site Plan - As Proposed 1:200



Site Location Map - As Proposed 1:1250

CASTLE
Architectural Designs Ltd.

REGISTRED OFFICE
Sark House
9 Bridge Street
Newcastle Emlyn
Ceredigion SA43 5JQ

DIRECTOR
Matthew T. Gwynn MSc
Chartered Architectural Technologist

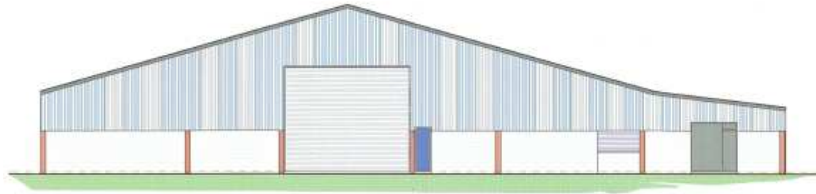
1548-03

Scale	As Proposed Drawing
Drawing Title	Site Plan & Site View
Author	MAT
Check	MS
Drawn	MS
Checked	MS
Client	Cartrefi Hywedd House Ltd
Project	Proposed Partial Change of Use of Building 131 Tudalen 131 & Assoc. Offices at Bwich-y-Domen Isaf
Date	20/01/2020
Sheet No.	1 of 1

Tel: 01238 711100
Mob: 07700 113180
Registered in England & Wales
Company Registration No. 9066996

As Proposed Drawing

W/36131



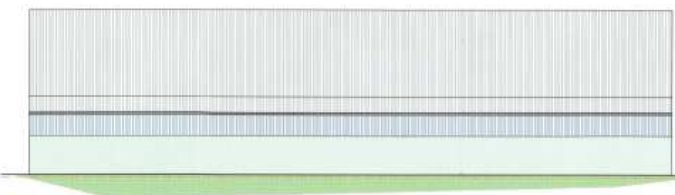
South-East Facing Elevation 1:1000



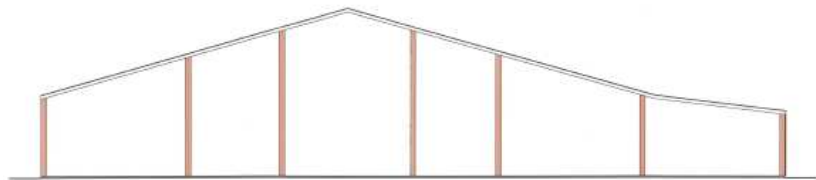
North-East Facing Elevation 1:1000



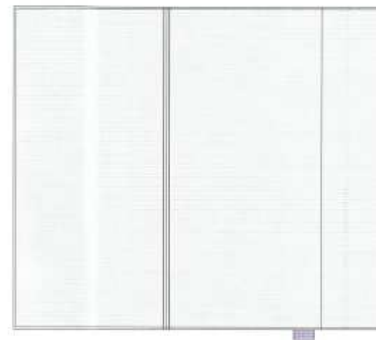
North-West Facing Elevation 1:1000



South-West Facing Elevation 1:1000



Typical Section 1:1000



Roof Plan 1:1000

NOTES:
 1. The contractor is responsible for the safety of all persons on the job site at all times.
 2. The contractor is responsible for the safety of all persons on the job site at all times.
 3. The contractor is responsible for the safety of all persons on the job site at all times.
 4. The contractor is responsible for the safety of all persons on the job site at all times.
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 10. The contractor is responsible for the safety of all persons on the job site at all times.



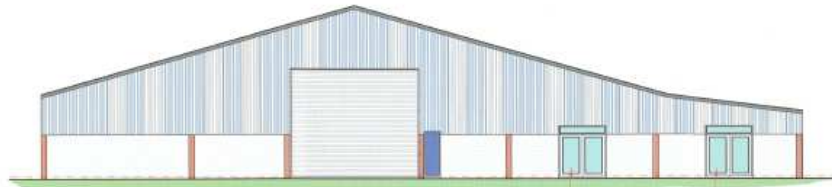
CASTLE

Architectural Designs Ltd.

<p>REGISTERED OFFICE Sarah House 8 Bridge Street Newcastle Centre Newcastle NE4 6BE</p>	
<p>Tel: 01274 71 11 88 Mob: 07970 11 31 88</p>	
<p>Registered Engineers & Valuers Company Registration No. 0600206</p>	

As Existing Drawing

W/36131



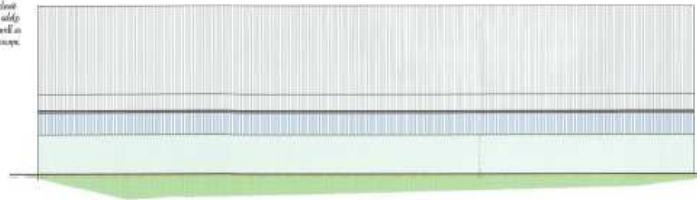
South-East Facing Elevation 1:100



North-East Facing Elevation 1:100



North-West Facing Elevation 1:100



South-West Facing Elevation 1:100

1 No. white sets of glass doors with glass for light cover to allow natural light into side of the main office (Open & Spine Areas)

NOTES
These sets of doors will be kept closed when the office is in use, and are solely for bringing in natural light as well as for use in emergency means of escape.

New opening to be formed over the North-East facing elevation which will form the principal entrance to the proposed Open & Spine areas.

GENERAL NOTES:

1. It is the contractor's responsibility to verify all dimensions on the plans to ground level with the owner.

2. All dimensions are to be taken to the center line of the structure unless otherwise specified.

3. All dimensions are to be taken to the center line of the structure unless otherwise specified.

4. All dimensions are to be taken to the center line of the structure unless otherwise specified.

5. All dimensions are to be taken to the center line of the structure unless otherwise specified.

6. All dimensions are to be taken to the center line of the structure unless otherwise specified.

7. All dimensions are to be taken to the center line of the structure unless otherwise specified.

8. All dimensions are to be taken to the center line of the structure unless otherwise specified.

9. All dimensions are to be taken to the center line of the structure unless otherwise specified.

10. All dimensions are to be taken to the center line of the structure unless otherwise specified.

11. All dimensions are to be taken to the center line of the structure unless otherwise specified.

12. All dimensions are to be taken to the center line of the structure unless otherwise specified.

13. All dimensions are to be taken to the center line of the structure unless otherwise specified.

14. All dimensions are to be taken to the center line of the structure unless otherwise specified.

15. All dimensions are to be taken to the center line of the structure unless otherwise specified.

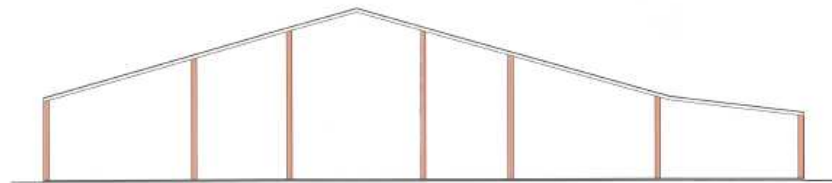
16. All dimensions are to be taken to the center line of the structure unless otherwise specified.

17. All dimensions are to be taken to the center line of the structure unless otherwise specified.

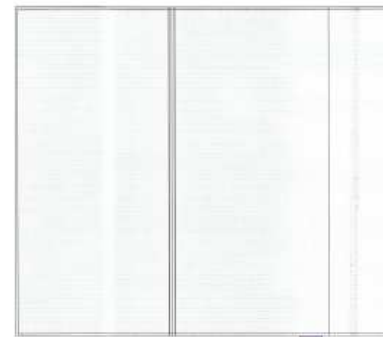
18. All dimensions are to be taken to the center line of the structure unless otherwise specified.

19. All dimensions are to be taken to the center line of the structure unless otherwise specified.

20. All dimensions are to be taken to the center line of the structure unless otherwise specified.



Typical Section 1:100



Roof Plan as Proposed - No Changes 1:100

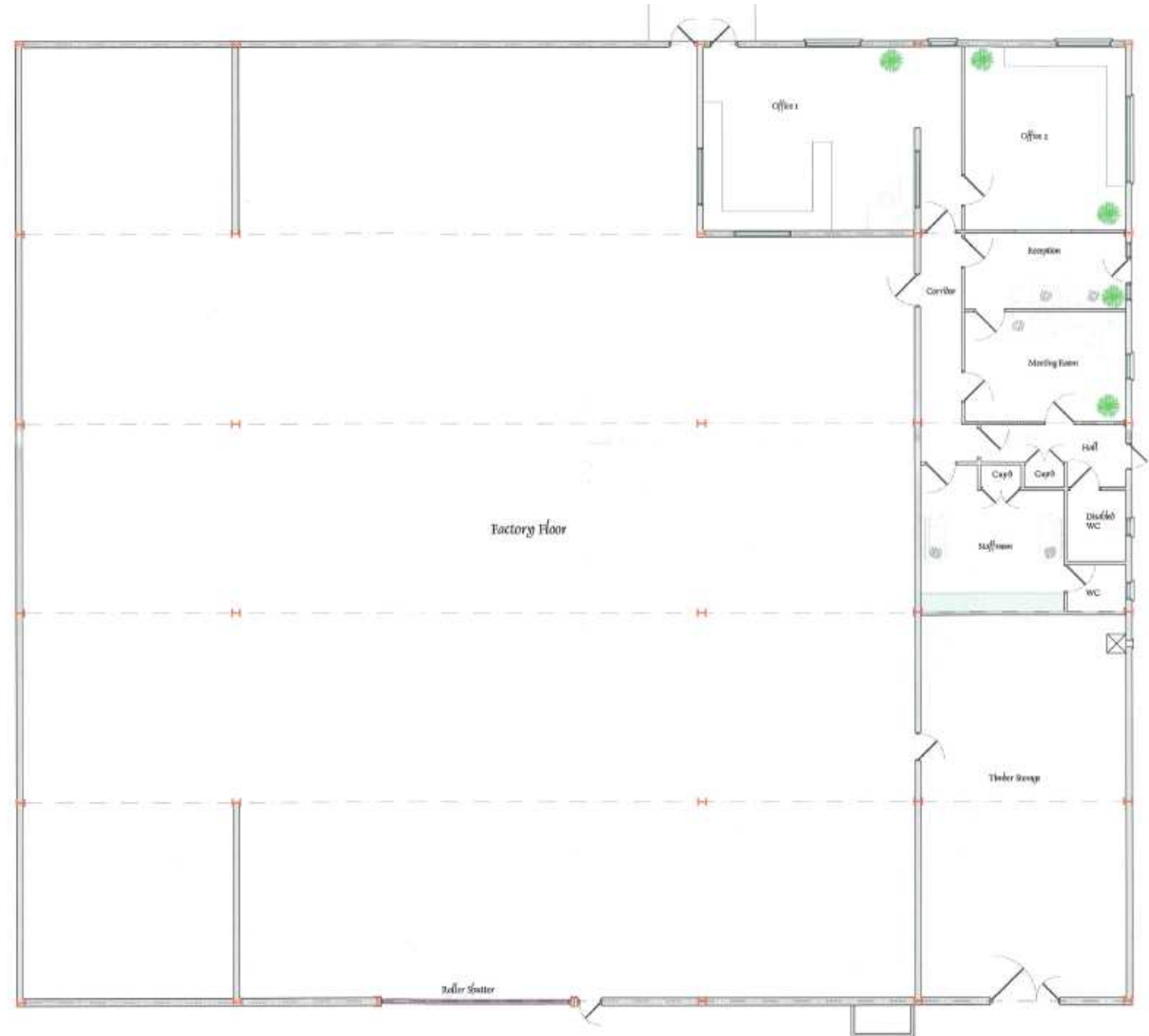


CASTLE
Architectural Designs Ltd.

<p>Project No: 1548-04</p> <p>Client: Fosaron Homes Ltd</p> <p>Site: 133 Tudalen, Newcastle</p> <p>Scale: 1:100</p> <p>Date: 15/05/2018</p> <p>Drawn by: M. Khan</p> <p>Checked by: M. Khan</p> <p>Approved by: M. Khan</p>	<p>DIRECTOR Matthew P. Edwards MCAAT Chartered Architectural Technologist</p> <p>REGISTERED OFFICE Barr House 4 Bridge Street Newcastle Emlyn Carmarthenshire SA31 3JX</p> <p>Tel: 012950 7111 698 Mob: 07700 131 318</p> <p>Registered in England & Wales Company Registration No. 5066288</p>
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W/36131

Existing Floorplan



W/36131



Floor Plan - As Proposed 1:100

Tudalen 136

W/36131



W/36131



Tudalen 137

Tudalen 138

W/36131



W/36131



Tudalen 139

Tudalen 140

W/36131



W/36131



Tudalen 141

Tudalen 142

W/36131



W/36131



Tudalen 143

Tudalen 144

W/36131



W/36131



Tudalen 145

Tudalen 146

W/36131



W/36131



Tudalen 147

Tudalen 148

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W/36131



Tudalen 149

Tudalen 150

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W/36131



Tudalen 151

Tudalen 152

W/36131

